



INNER WEST COUNCIL

DEVELOPMENT ASSESSMENT REPORT

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| Application No. | M/2019/135 |
| Address | 24 Catherine Street, Leichhardt |
| Proposal | Application under Section 4.55 of the Environmental Planning and Assessment Act to modify Determination Number D/2018/529 to include a dormer window at the front elevation and a third bedroom to each dwelling. |
| Date of Lodgement | 31/07/2019 |
| Applicant | Traders in Purple 113 Pty Ltd |
| Owner | Traders in Purple 113 Pty Ltd |
| Number of Submissions | Nil |
| Value of works | \$1,191,615 |
| Reason for determination at Planning Panel | Variation to FSR development standard exceeds officers delegation |
| Main Issues | FSR Variation |
| Recommendation | Approved with Conditions |
| Attachment A | Recommended modified conditions of consent |
| Attachment B | Plans of proposed development |
| Attachment C | Development Consent Determination No. D/2018/529 |
| Attachment D | Approved Plans Determination No. D/2018/529 |



LOCALITY MAP

| | | | | |
|---------------|--|------------|--|-----|
| Subject Site | | Objectors | | ↑ N |
| Notified Area | | Supporters | | |

1. Executive Summary

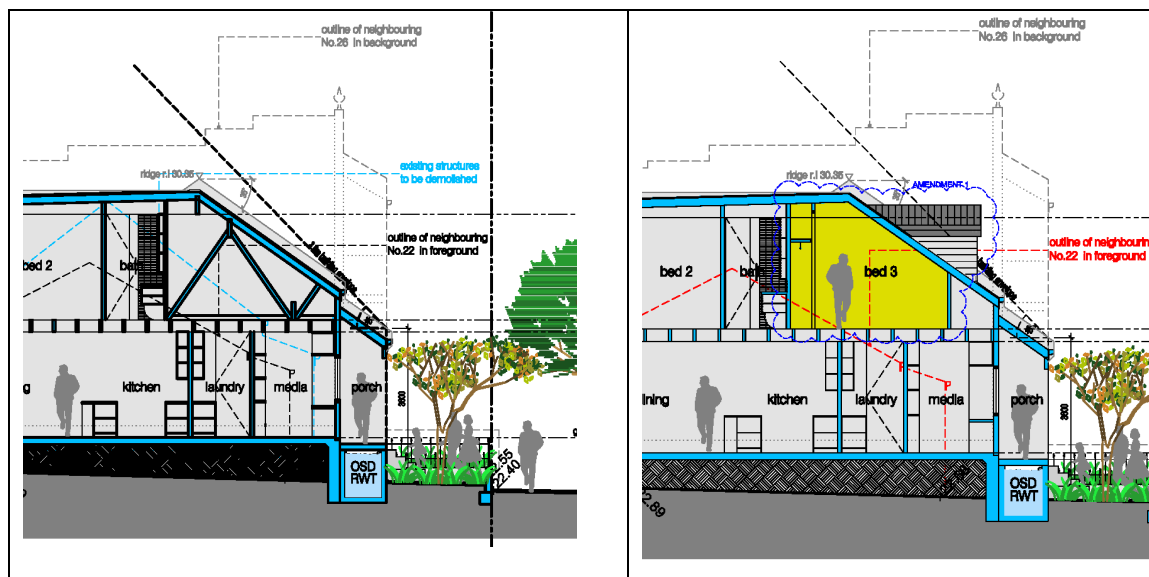
This report concerns an application under Section 4.55(1A) of the Environmental Planning and Assessment Act, 1979 to modify Determination No. D/2018/529 dated 28 May 2019 to include a dormer window and third bedroom within each dwelling. The application was notified in accordance with Council’s notification policy and no submissions were received. The application is referred to the Inner West Local Planning Panel for determination because the original consent was granted by the Panel, with, variously on each lot, no FSR variation or an FSR variation less than 10%, and the modification application seeks to vary the FSR of the dwelling houses greater than 10% and thus does not fall within staff delegation.

Although a Clause 4.6 variation request is not required for a modification application the applicant has demonstrated that subject proposal satisfies the objectives of the R1 – General Residential Zone and FSR Development Standard. The proposed dormers are vertically proportionate so as not to detract from the Catherine Street streetscape. The additional GFA is wholly located within the approved building enveloped and as such will not impede on the amenity of the neighbouring properties. It is considered the proposal is satisfactory having regard

The potential impacts to the surrounding environment have been considered as part of the assessment process and the proposed modified development is considered acceptable. The application is recommended for approval.

2. Proposal

The proposal seeks to modify Determination Number D/2018/529 to include a dormer window at the front elevation and a third bedroom to each dwelling (see below).



Approved long-section

proposed long section

3. Site Description

The subject site is located on the eastern side of Catherine Street, between Styles Street to the north and Parramatta Road to the south. The subject site is a single allotment rectangular in shape with a total area of 473.3m² and is legally described as Lot 1 in DP 1092177. The site has a frontage to Catherine Street of 12.1m and a secondary frontage to

Redmond Street of 11.9m and a slope of approximately of 1.5m from the rear to the front boundary.

The site supports a single storey dwelling with detached brick garage and WC structure within the rear setback. Adjoining the subject site to the north is a two storey terrace with garage (accessible via Redmond Street) whilst to the south is a single storey semi-detached house with garage (accessible via Redmond Street). Both of the adjoining dwellings have a nil setback to the respective shared boundaries with the subject site.

The subject site is not located within a heritage conservation area and is identified as a flood control lot.

4. Background

4(a) Site history

The following application outlines the relevant development history of the subject site and any relevant applications on surrounding properties.

Subject Site

| Application | Proposal | Decision & Date |
|-------------|--|--------------------------------|
| D/2018/529 | Demolition of existing structures, 3 lot Torrens title subdivision, construction of 3 x semi detached two storey dwellings on each proposed lot and associated works, including car parking and fencing works plus tree removal. | Approved by IWPP 28/05/2019 |

Surrounding properties

There are no planning determinations at 22 or 26 Catherine Street since the determination date of the original application.

4(b) Application history

Not applicable

5. Assessment

The following is a summary of the assessment of the application in accordance with Section 4.15 of the *Environmental Planning and Assessment Act 1979*.

5(a) Environmental Planning Instruments

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*
- *Leichhardt Local Environmental Plan 2013 (LLEP 2013)*

The following provides further discussion of the relevant issues:

5(a)(i) State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

A revised BASIX Certificate was not submitted with the application, a revised BASIX Certificate is to be provided prior to the issue of and Construction Certificate, otherwise, the proposal is acceptable.

5(a)(ii) Leichhardt Local Environmental Plan 2013 (LLEP 2013)

The site is located within the R1 – General Residential Zone, the proposed modified development is permissible with consent under LLEP 2013.

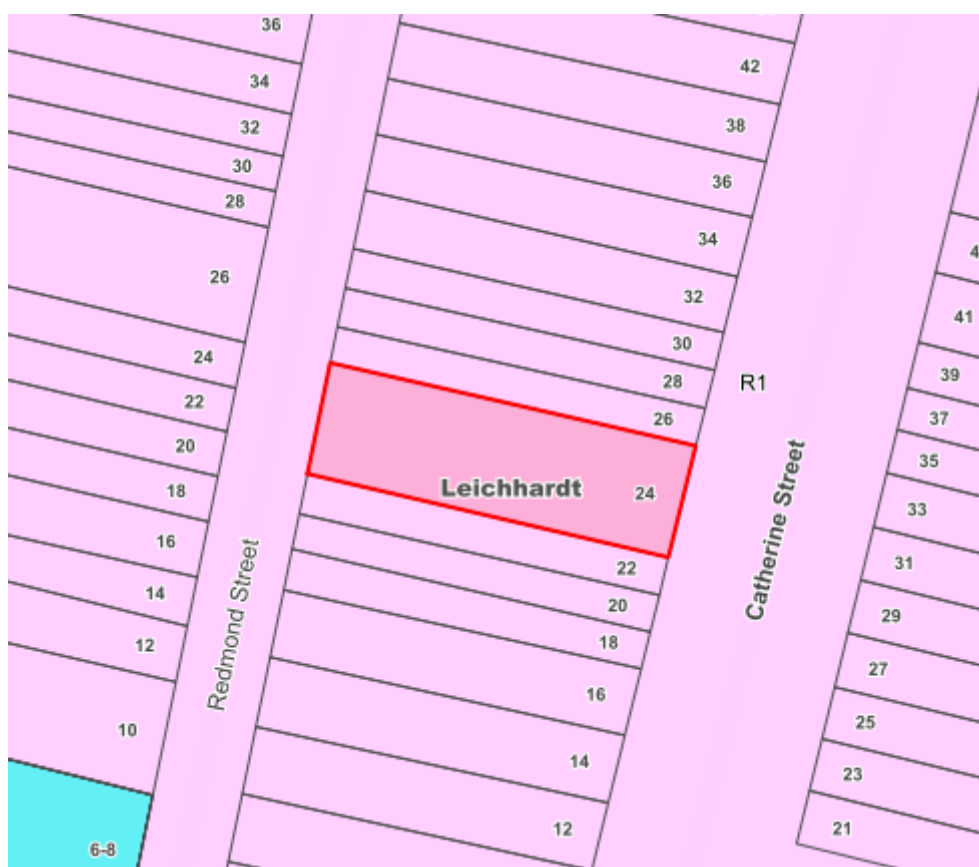


Figure 11 Land zoning map, subject site outlined in red

This modification application was assessed against the following clauses of the LLEP 2013 relevant to this application:

(xiii) Clause 4.4 Floor Space Ratio

The following table provides an assessment of the application against maximum applicable FSR, approved FSR and proposed FSR:

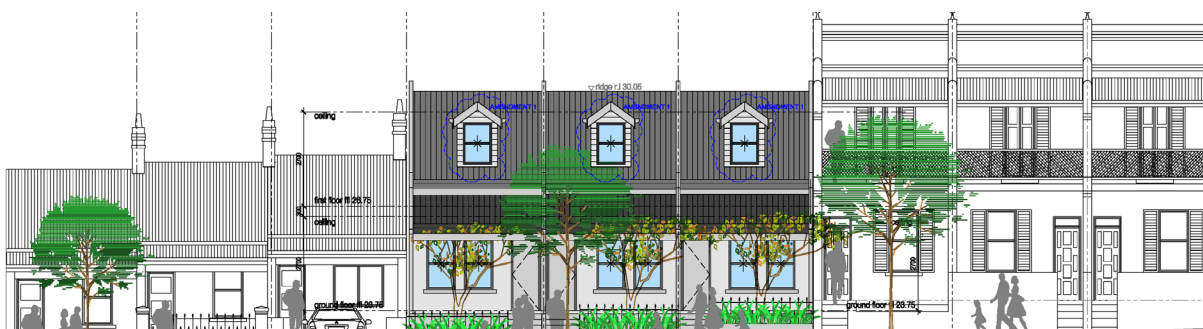
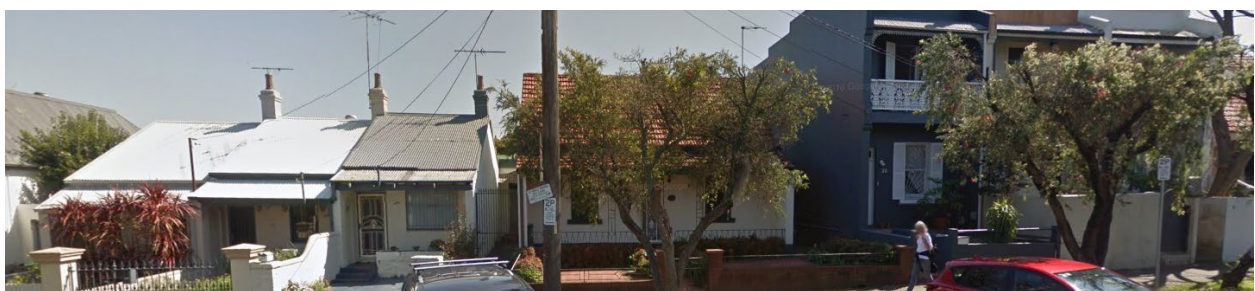
| | Lot 1 (Southern Lot) | Lot 2 (central lot) | Lot 3 (northern lot) |
|--------------|------------------------------|-------------------------------|-------------------------------|
| Maximum FSR | 0.7:1 (113.5m ²) | 0.7:1 (110.1m ²) | 0.7:1 (108.8m ²) |
| Approved FSR | 0.7:1 (113.5m ²) | 0.73:1 (114.7m ²) | 0.72:1 (112.5m ²) |

| | | | | |
|---------------------------|------------|--------------------------------|--------------------------------|-------------------------------|
| Approved Variation | FSR | Nil | 4.7m ² (4.3%) | 3.6 m ² (3.3%) |
| Proposed FSR | | 0.79:1 (126m ²) | 0.81:1 (128m ²) | 0.8:1 (125m ²) |
| Proposed Variation | FSR | 12.5m ² (11%) | 17.9m ² (16.3%) | 16.2m ² (14.9%) |

Despite the proposed increase to the total approved GFA for each dwelling, the proposal remains compliant with the objectives of the R1 – General Residential Zone as originally approved. The modification of a development consent which results in a new or modified variation to a development standard, does not require the submission of a written request for an exception to a development standard pursuant to Clause 4.6 of LLEP 2013. However, Council is still required to conduct a merit assessment of any new breaches of a development standard. The Statement of Environment of Effects (SEE) and justification to the FSR Development Standard submitted with the modification application justifies the proposed FSR on the basis that:

- The development as modified continues to satisfy the objectives of the FSR Development Standard as it will not adversely affect the built form;
- The size and scale of the dormers which facilitates the use of the previously approved roof voids are modest in scale and do not detract from the Catherine Street streetscape;
- The size and scale of the modified development continues to contribute to the designed future character of the area;
- The additional GFA for each dwelling is wholly located within the building envelope of the approved development (with the exception of each dormer) and as such will not result in any unreasonable amenity impacts to the adjoining properties in terms of overshadowing or visual privacy.

Council concurs with the above. The amended design will be generally compatible with the streetscape, as demonstrated in the photo below:



The additional floor area associated with the proposed modification would therefore achieve the objectives of the FSR development standard. Having regard to the above, it is considered that the modified development does not cause any additional amenity or visual impacts for adjoining properties or alter its streetscape presentation. Therefore, compliance with the maximum FSR development standard is considered to be unreasonable in the circumstances. The proposed modification involving a departure from the FSR development standard is therefore supported.

5(b) Draft Environmental Planning Instruments

There are no relevant Draft Environmental Planning Instruments.

5(c) Development Control Plans

The application has been assessed and the following provides a summary of the relevant provisions of Leichhardt Development Control Plan 2013.

Part C3.2 Site Layout and Building Design

Each dwelling of the approved development has been articulated to comply with the 3.6m building envelope controls at the Catherine Street elevation as required by the desired future character controls of Part C2.2.3.3 Piperston Distinctive Neighbourhood of the LDCP 2013. The design provisions under this part allow for minor architectural details such as dormer windows to protrude beyond the building envelope control. The proposed dormer windows are modest in scale and reinforce the uniformity of the three dwellings as approved. The proposed modifications are compliant with the design provisions under this Part

Part C3.4 Dormer Windows

The proposed modification seeks to erect three dormer windows at the Catherine Street elevation, one for each dwelling to facilitate natural light and ventilation to the new bedrooms within the former attic space. Each dormer is symmetrically located within the front roof plane of each dwelling and is suitably scaled so as not to dominate the street frontage. The proposed modifications are compliant with the design provisions under this Part.

5(d) Section 4.55 of the Environmental Planning and Assessment Act

Under Section 4.55 (2) of the Environmental Planning and Assessment Act, 1979, Council, when considering a request to modify a Determination must:

- a) Be satisfied that the development as modified is substantially the same development as the development for which consent was originally granted
- b) Consult with any relevant authority or approval body
- c) Notify the application in accordance with the regulations
- d) Consider any submissions made
- e) Take into consideration the matters referred to in Section 4.15 that are relevant to the development the subject of the modification application.

The development being modified is substantially the same development as the development for which consent was originally granted. No authorities or bodies were required to be consulted. The application was notified in accordance with the regulations and Council's notification policy and no submissions were received.

The heads of consideration under Section 4.15 of the Environmental Planning and Assessment Act, 1979, as are of relevance to the application, have been taken into consideration in the assessment of this application.

5(e) Any submissions

The application was notified in accordance with Leichhardt Development Control Plan 2013 for a period of 14 days to surrounding properties. No submissions were received.

5(f) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed.

The proposal is not contrary to the public interest.

6 Referrals

6(a) Internal

Not applicable.

6(b) External

No applicable

7. Section 7.11 Contributions/7.12 Levy

No additional 7.11 contributions are required as a result of the amended proposal.

8. Conclusion

The proposed modification generally complies with the internal layout and design parameters contained in the LLEP 2013 and LDGP 2013. The proposed modified development would not result in any significant impacts on the amenity of adjoining premises and the streetscape. The application is considered suitable for approval.

9. Recommendation

- A. That the Inner West Local Planning Panel, as the consent authority pursuant to s4.16 of the Environmental Planning and Assessment Act 1979, APPROVE the modification application under Section 4.55 of the Environmental Planning and Assessment Act 1979 to modify Determination No.D/2018/529, dated 28 May 2019 to include a dormer window at the front elevation and a third bedroom to each dwelling., subject to the conditions listed in Attachment A below

Attachment A – Recommended modified conditions of consent

Conditions of Consent

1. Development must be carried out in accordance with Development Application No. D/2018/529 and the following plans and supplementary documentation, except where amended by the conditions of this consent.

| Plan Reference | Drawn By | Dated |
|---|---------------------------------------|--|
| Materials and Colour Schedule of Finishes, Drawing No. 5.03, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Subdivision Plan, Drawing No. 0.09, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Roof Plan Analysis, Drawing no. 010, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Roof Plan, Drawing No. 1.02, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed First Floor Analysis, Drawing No. 0.11, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Ground Floor Analysis, Drawing No. 0.12, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed First Floor Analysis, Drawing No. 1.02, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed First Floor Analysis, Drawing No. 1.03, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Eastern Catherine Streetscape Elevation, Drawing No. 2.02, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Eastern Catherine Streetscape Elevation, Drawing No. 2.03, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Northern Side Elevation, Drawing No. 2.05, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Northern Side Elevation, Drawing No. 2.06, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Northern Side Elevation, Drawing No. 2.07, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Western rear Redmond Streetscape Elevation, Drawing No. 2.09, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Western rear Redmond Streetscape Elevation, Drawing No. 2.10, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Southern Side Elevation, Drawing No. 2.12, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Southern Side Elevation, Drawing No. 2.13, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Proposed Southern Side Elevation, Drawing No. 2.14, Rev B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Typical Section A-A, Drawing No. 3.01, | Development Design Pty Ltd | 19/09/2018 |

| | | |
|--|-------------------------------|--|
| Rev. B Rev C | Ltd | 27/07/2019 |
| Landscape Plan, Drawing No. 5.01, Rev. B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Landscape Plan, Drawing No. 5.01A, Rev. B Rev C | Development Design Pty Ltd | 19/09/2018 27/07/2019 |
| Document Title | Prepared By | Dated |
| BASIX Certificate No. 955637S | Development Design Pty Ltd | 9/10/2018 |
| BASIX Certificate No. 955889S | Development Design Pty Ltd | 9/10/2018 |
| BASIX Certificate No. 955893S | Development Design Pty Ltd | 9/10/2018 |
| Acoustic Report | Koikas Acoustics | 25/09/2018 |
| Existing Site Plan and Construction Management Plan, Drawing no. 0.05, Rev. B | Development Design Pty Ltd | 19/09/2018 |
| Sediment, Erosion Control & Waste Management Details, Drawing No. 5.02, Rev. B | | 19/09/2018 |
| Concept Stormwater Plan, Drawing No. 18AA050/DR01, Rev B | EndDepth Engineers | 21/09/2018 |
| Concept Stormwater Plan, Drawing No. 18AA050/DR02, Rev B | EndDepth Engineers | 21/09/2018 |
| Concept Stormwater Details, Drawing No. 18AA050/DR03, Rev B | EndDepth Engineers | 21/09/2018 |
| Statement of Environmental Effects | No Author | No date, Lodged with Council 10/10/2018 |
| Site Survey | Benchmark Surveys | 27/09/2017 |
| Flood Risk Management Report, Rev A | EndDepth Engineers | No date, Lodged with Council 10/10/2018 |
| Flood Response Letter | EndDepth Engineers | 14/09/2018 |
| Clause 4.6 Variation Request - Subdivision | Development Design Pty Ltd | May 2018 |
| Clause 4.6 Variation Request - FSR | Development Design Pty Ltd | March 2018 |

In the event of any inconsistency between the approved plans and the conditions, the conditions will prevail.

Where there is an inconsistency between approved elevations and floor plan, the elevation shall prevail.

In the event of any inconsistency between the approved plans and supplementary documentation, the plans will prevail.

The existing elements (walls, floors etc) shown to be retained on the approved plans shall not be removed, altered or rebuilt without prior consent of the consent authority.

Note: Carrying out of works contrary to the above plans and/ or conditions may invalidate this consent; result in orders, on the spot fines or legal proceedings.

2. Consent is granted for the demolition of the following currently existing on the property, subject to strict compliance with the following conditions:
 - a) The adjoining residents must be notified seven (7) working days prior to demolition. Such notification is to be clearly written on A4 size paper giving the date demolition will commence, site contact details/person, elements to be demolished and be placed in the letterbox of every premises (including every residential flat or unit, if any) either side, immediately at the rear of and directly opposite the demolition site.
 - b) Written notice is to be given to the Principal Certifying Authority for inspection prior to demolition. Such written notice is to include the date when demolition will commence and details of the name, address, business hours and contact telephone number and licence number of the demolisher. The following building inspections must be undertaken by the Principal Certifying Authority:
 - i) A *pre commencement* inspection when all the site works are installed on the site and prior to demolition commencing.
 - ii) A *final* inspection when the demolition works have been completed.

NOTE: If Council is nominated as your Principal Certifying Authority 24 - 48 hours notice to carry out inspections is required. Arrangement for inspections can be made by phoning 9367 9222.

- c) Prior to demolition, the applicant must erect a sign at the front of the property with the demolisher's name, licence number, contact phone number and site address.
- d) Prior to demolition, the applicant must erect a 2.4m high temporary fence, hoarding between the work site and any public property (footpaths, roads, reserves etc). Access to the site must be restricted to authorised persons only and the site must be secured against unauthorised entry when work is not in progress or the site is otherwise unoccupied.
- e) The demolition plans must be submitted to the appropriate Sydney Water Quick Check agent for a building plan approval.
- f) Demolition is to be carried out in accordance with the relevant provisions of Australian Standard 2601:2001: *Demolition of structures*.

- g) The hours of demolition work are limited to between 7:00am and 6:00pm on weekdays. No demolition work is to be carried out on Saturdays, Sundays and public holidays.
- h) Hazardous or intractable wastes arising from the demolition process must be removed and disposed of in accordance with the requirements of WorkCover New South Wales and the Environmental Protection Authority.
- i) Demolition procedures must maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- j) During demolition, public property (footpaths, roads, reserves etc) must be clear at all times and must not be obstructed by any demolished material or vehicles. The footpaths and roads must be swept (not hosed) clean of any material, including clay, soil and sand. On the spot fines may be levied by Council against the demolisher and/or owner for failure to comply with this condition.
- k) All vehicles leaving the site with demolition materials must have their loads covered and vehicles must not track soil and other materials onto public property (footpaths, roads, reserves etc) and the footpaths must be suitably protected against damage when plant and vehicles access the site.
- l) The burning of any demolished material on site is not permitted and offenders will be prosecuted.
- m) Care must be taken during demolition to ensure that existing services on the site (ie, sewer, electricity, gas, phone) are not damaged. Any damage caused to existing services must be repaired by the relevant authority at the applicant's expense. Dial before you dig www.1100.com.au should be contacted prior to works commencing.
- n) Suitable erosion and sediment control measures in accordance with the Soil and Water Management Plan must be erected prior to the commencement of demolition works and must be maintained at all times.
- o) Prior to demolition, a Work Plan must be prepared and submitted to the Principal Certifying Authority in accordance with the relevant provisions of Australian Standard 2601:2001 *Demolition of structures* by a person with suitable expertise and experience. The Work Plan must identify hazardous materials including surfaces coated with lead paint, method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
- p) If the property was built prior to 1987 an asbestos survey prepared by a qualified occupational hygienist is to be undertaken. If asbestos is present then:

- i) A WorkCover licensed contractor must undertake removal of all asbestos.
- ii) During the asbestos removal a sign "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400 mm x 300 mm is to be erected in a visible position on the site to the satisfaction of Council.
- iii) Waste disposal receipts must be provided to Council / Principal Certifying Authority as proof of correct disposal of asbestos laden waste.
- iv) All removal of asbestos must comply with the requirements of WorkCover and Leichhardt Council.
- v) An asbestos clearance certificate prepared by a qualified occupation hygienist must be provided at the completion of the demolition works.

PRIOR TO THE RELEASE OF A CONSTRUCTION CERTIFICATE

3. As the site where the property is identified as located within ANEF 20-25 or greater, the development approved under this consent must meet the relevant provisions of Australian Standard AS 2021:2015 Acoustics – Aircraft noise intrusion – Building siting and construction.

An acoustic report prepared by a suitably qualified person and accompanying plans demonstrating compliance are to be submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

4. Any air conditioning unit on the site must be installed and operated at all times so as not to cause "Offensive Noise" as defined by the Protection of the Environment (Operations) Act 1997.

The system/s shall be operated as follows:

- a) Domestic air conditioners must not be audible in nearby dwellings between:
 - i) 10:00pm to 7:00am on Monday to Saturday; and
 - ii) 10:00pm to 8:00am on Sundays and Public Holidays.
- b) At any other time the systems and associated equipment shall not give rise to a sound pressure level at any affected premises that exceeds the background $L_{A90, 15min}$ noise level, measured in the absence of the noise source/s under consideration by 5dB(A).

The source noise level shall be assessed as an $L_{Aeq, 15min}$ and adjusted in accordance with the NSW Environment Protection Authority's Industrial Noise Policy and Environmental Noise Control Manual (sleep disturbance).

Air conditioning units must be installed in accordance with plans referenced in condition 1 or to satisfy provisions of the State Environmental Planning Policy (Exempt & Complying Codes) 2008.

Details demonstrating compliance with the requirements of this condition and the acoustic measures to be employed to achieve compliance with this condition are to be submitted for approval to the Principal Certifying Authority prior to the issue of any Construction Certificate.

5. In accordance with the provisions of the *Environmental Planning and Assessment Act 1979* construction works approved by this consent must not commence until:
 - a) A Construction Certificate has been issued by Council or an Accredited Certifier. Either Council or an Accredited Certifier can act as the "Principal Certifying Authority."
 - b) A Principal Certifying Authority has been appointed and Council has been notified in writing of the appointment.
 - c) At least two days notice, in writing has been given to Council of the intention to commence work.

The documentation required under this condition must show that the proposal complies with all Development Consent conditions and is not inconsistent with the approved plans, the Building Code of Australia and the relevant Australian Standards.

6. In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant must pay a long service levy at the prescribed rate of 0.35% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$25,000 or more. The Long Service Levy is payable prior to the issue of a Construction Certificate.

Details demonstrating compliance are to be shown on the plans submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

7. If any excavation extends below the level of the base of the footings of a building on an adjoining property, the person causing the excavation:
 - a) Must preserve and protect the adjoining building from damage
 - b) Must, at least seven (7) days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

- c) The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this condition, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

In this condition, the allotment of land includes public property.

- 8. A Certificate prepared by an appropriately qualified and practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction must be provided prior to the issue of a Construction Certificate to the satisfaction of the Principal Certifying Authority. The certificate shall also include all details of the methodology to be employed in construction phases to achieve the above requirements without result in demolition of elements marked on the approved plans for retention.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

- 9. A Soil and Water Management Plan must be provided prior to the issue of a Construction Certificate. The Soil and Water Management plan must be designed to be compatible with the document Planning for Erosion and Sediment Control on Single Residential Allotments or Managing Urban Stormwater—Soils & Construction Volume 1 (2004) available at www.environment.nsw.gov.au and the Construction Management and Traffic Management Plan referred to in condition/s of this Development Consent and must address, but is not limited to the following issues:
 - a) Minimise the area of soils exposed at any one time.
 - b) Conservation of top soil.
 - c) Identify and protect proposed stockpile locations.
 - d) Preserve existing vegetation. Identify revegetation technique and materials.
 - e) Prevent soil, sand, sediments leaving the site in an uncontrolled manner.
 - f) Control surface water flows through the site in a manner that:
 - i) Diverts clean run-off around disturbed areas;
 - ii) Minimises slope gradient and flow distance within disturbed areas;
 - iii) Ensures surface run-off occurs at non erodable velocities;
 - iv) Ensures disturbed areas are promptly rehabilitated.
 - g) Sediment and erosion control measures in place before work commences.
 - h) Materials are not tracked onto the road by vehicles entering or leaving the site.

- i) Details of drainage to protect and drain the site during works.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

- 10. The approved plans must be checked online with Sydney Water Tap In to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. A copy of this approval must be supplied with the Construction Certificate application. Please refer to the web site <http://www.sydneywater.com.au/tapin/index.htm> for details on the process or telephone 132092.

The Certifying Authority must ensure that the appropriate approval has been provided prior to the issue of a Construction Certificate.

- 11. A detailed Traffic Management Plan to cater for construction traffic shall be submitted to and approved by Council before commencement of works. Details shall include haulage routes, estimated number of vehicle movements, truck parking areas, work zones, crane usage, etc., related to demolition/construction activities
- 12. Prior to the issue of a Construction Certificate, the applicant must prepare a Construction Management and Plan. The following matters should be addressed in the plan (where applicable):
 - a) A plan view of the entire site and frontage roadways indicating:
 - i) Dedicated construction site entrances and exits, controlled by a certified traffic controller, to safely manage pedestrians and construction related vehicles in the frontage roadways.
 - ii) The locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council.
 - iii) Location of any proposed crane and concrete pump and truck standing areas on and off the site.
 - iv) A dedicated unloading and loading point within the site for construction vehicles, plant and deliveries.
 - v) The proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period.
 - b) Noise and vibration

During excavation, demolition and construction phases, noise & vibration generated from the site must be controlled. Refer to other conditions of this consent. If during excavation, rock is encountered, measures must be taken to minimise vibration, dust generation and impacts on surrounding properties. Refer to Environmental Noise Management Assessing Vibration: a technical Guideline (Department of Environment and Conservation, 2006) www.epa.nsw.gov.au for guidance and further information.

- c) Occupational Health and Safety
All site works must comply with the occupational health and safety requirements of the New South Wales Work Cover Authority.
- d) Toilet Facilities
During excavation, demolition and construction phases, toilet facilities are to be provided on the site, at the rate of one toilet for every twenty (20) persons or part of twenty (20) persons employed at the site. Details must be shown on the plan.
- e) Traffic control plan(s) for the site
All traffic control plans must be in accordance with the Roads and Maritime Services publication "Traffic Control Worksite Manual"

Approval is to be obtained from Council for any temporary road closures or crane use from public property. Applications to Council shall be made a minimum of 4 weeks prior to the activity proposed being undertaken.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

13. A Waste Management Plan (WMP) is to be provided in accordance with **Part D – Waste – Development Control Plan 2013**. The Plan must address all issues identified in the DCP including but not limited to:
- a) Estimated volume (m³) or weight (t) of materials that are reused, recycled or removed from site.
 - b) On site material storage areas during construction.
 - c) Material and methods used during construction to minimise waste.
 - d) Nomination of end location of all waste and recycling generated from a facility authorised to accept the material type for processing or disposal and retention of waste dockets to be made available to Council Officer on request
 - e) A clear statement within the Waste Management Plan of responsibility for the transferral of waste and recycling bins within the property and

between floors where applicable to the collection point in accordance with DCP 2013.

All requirements of the approved Waste Management Plan must be implemented during the demolition, excavation and construction of the development.

14. A contribution pursuant to the provisions of Section 7.11 (formally known as Section 94) of the Environmental Planning and Assessment Act 1979 for the services detailed in column A and for the amount detailed in column B must be made to Council prior to the issue of a Construction Certificate:

| Column A | Column B |
|-------------------------|-------------|
| Open Space Levy | \$44,291.00 |
| Community Services Levy | \$6,769.00 |

Payment will only be accepted in the form of cash, bank cheque or EFTPOS / Credit Card (to a maximum of \$10,000). It should be noted that personal cheques or bank guarantees cannot be accepted for Section 94 Contributions. Contribution Plans may be inspected on Council's website www.innerwest.nsw.gov.au or a copy purchased at the Customer Service counter in Council's Administration Centre, 7-15 Wetherill Street, Leichhardt, during business hours. A receipt demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate

PRIOR TO WORKS COMMENCING OR ISSUE OF A CONSTRUCTION CERTIFICATE (WHICHEVER OCCURS FIRST)

15. Prior to the commencement of demolition works or a Construction Certificate being issued for works approved by this development consent (whichever occurs first), a security deposit and inspection fee must be paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

| | |
|-------------------------|-------------|
| Security Deposit (FOOT) | \$15,000.00 |
| Inspection fee (FOOTI) | \$230.65 |

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the

works put Council's assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

Requirements of this condition are to be met prior to works commencing or prior to release of a Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

16. A dilapidation report including a photographic survey of the following adjoining properties must be provided to Principal Certifying Authority the Council and owners of affected properties prior to any demolition or works commencing on the site or the issue of a Construction Certificate (whichever comes first). The dilapidation report must detail the physical condition of those properties, both internally and externally, including walls, ceilings, roof, structural members and other similar items.

| Property | Structures / Area |
|---------------------------------|---------------------------------------|
| 22 Catherine Street, Leichhardt | Northern wall (internal and external) |
| 26 Catherine Street, Leichhardt | Southern wall (internal and external) |

If excavation works are proposed the dilapidation report must report on the visible and structural condition of neighbouring structures within the zone of influence of the excavations. This zone is defined as the horizontal distance from the edge of the excavation face to twice the excavation depth.

The dilapidation report is to be prepared by a practising Structural Engineer. All costs incurred in achieving compliance with this condition shall be borne by the applicant. A copy of the report must be provided to Council, the Principal Certifying Authority and the owners of the affected properties prior to any works commencing.

In the event that access for undertaking the dilapidation report is denied by an adjoining owner, the applicant must demonstrate, in writing that all reasonable steps have been taken to obtain access and advise the affected property owner of the reason for the survey and that these steps have failed. Written correspondence from the owners of the affected properties or other evidence

must be obtained and submitted to the Principal Certifying Authority in such circumstances that demonstrates such documentation has been received. The Principal Certifying Authority must be satisfied that the requirements of this condition have been met prior to commencement of any works.

Note: This documentation is for record keeping purposes and may be used by an applicant or affected property owner to assist in any action required to resolve any civil dispute over damage rising from the works.

Requirements of this condition are to be met prior to works commencing or prior to release of a Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

17. Should works require any of the following on public property (footpaths, roads, reserves),

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent shall obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the Local Government Act 1993 and/or Section 138 of the Roads Act 1993. Permits are required for the following activities:

- a) Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application.
 - b) A concrete pump across the roadway/footpath
 - c) Mobile crane or any standing plant
 - d) Skip bins
 - e) Scaffolding/Hoardings (fencing on public land)
 - f) Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.
 - g) Awning or street verandah over footpath
 - h) Partial or full road closure
 - i) Installation or replacement of private stormwater drain, utility service or water supply
18. The person acting on this consent shall submit to the Principal Certifying Authority a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site before the issue of a Construction Certificate.
19. The following recommendations in the Flood Risk Management Report prepared by ENDEPTH Engineers must be complied with:
- a) Recommendations
 - All ground floor habitable levels are to be set to the **FPL (23.65m AHD)** minimum;

- The proposed structural works to be constructed from flood compatible materials;
- All valuable items are to be stored at the proposed first floor addition.
- It is recommended that these items to be stored at high levels in case of emergency;

Laminated Locality map, laminated emergency phone numbers list, Torch, Radio with spare batteries, Mobile phone, Wet weather clothing, and an emergency kit.

b) Evacuation

It is recommended that evacuation procedures shall be carried out pending instructions from authorities i.e. State Emergency Services, Police.

The site evacuation is simple for all storms up to the 100-year storm stay indoors or evacuate to the north of Catherine Street and seek assistance from emergency services.

In the event of a probable maximum flood, early evacuation away from the property is paramount, however if it is too late all occupants shall seek refuge in the first floor and contact emergency services for assistance.

20. A stormwater drainage design, incorporating On-site Stormwater Detention storage and/or On-site Stormwater Retention/re-use facilities (OSD/OSR), prepared by a qualified practicing Civil Engineer must be provided prior to the issue of a Construction Certificate. The design must be prepared/ amended to make provision for the following:
- a) The design shall be generally in accordance with Stormwater drainage plans on drawing no. 18AA050/DR02 prepared by ENDEPTH ENGINEERS.
 - b) Comply with Council's Stormwater Drainage Code.
 - c) Charged or pump-out stormwater drainage systems are not permitted.
 - d) The internal floor areas must be at RL. 23.65m AHD or a minimum 150mm above the adjacent external finished surfaces, whichever is higher.
 - e) An overland flow path must be provided through the garages to Redmond Street to protect habitable areas from flooding when blockage of drainage system occurs.
 - f) Stormwater runoff from the roof of the garages must be connected to the OSD of the relevant site.
 - g) The design must make provision for collection and disposal of stormwater runoff under the decks. As there is no overland flow/flood path available from the area under the decks to the Catherine Street frontage, the design of the sag pit and piped drainage system is to meet the following criteria:

- i) Capture and convey the 100 year Average Recurrence Interval flow from the contributing catchment assuming 80% blockage of the inlet and 50% blockage of the pipe.
- ii) The maximum water level over the sag pit shall not be less than 150mm below the floor level or damp course of the building
- iii) A suitable access must be provided over the grates for cleaning and maintenance purposes. Dimensions must be shown on the plan and long section of the drainage system.
- h) Stormwater Treatment in accordance with Section E1.2.4 (C1). A water quality filtration basket or similar primary treatment device must be installed on the site stormwater drainage system for each lot.
- i) Plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required.
- j) The invert of the outlet pipe in the OSD must be a minimum of 150mm above the invert of the gutter in Catherine Street.
- k) Setback of the outlet pipes from the street trees and utility services in Catherine Street must comply with the requirements of Council's Tree Coordinator and relevant utility service authority.
- l) All redundant stormwater pipelines within the footpath area must be removed and the footpath and kerb reinstated.
- m) New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0mm and a maximum section height and maximum section width of 100mm.
- n) Water quality filtration basket(s) with screening bag or similar primary treatment device(s) shall be installed on the site stormwater drainage system such that all water entering the site stormwater drainage system is filtered by the device(s).
- o) The existing downpipe outlet for No 26 Catherine Street on Redmond Street clashes with the proposed vehicular crossing for the northern lot and will need to be relocated at the applicant's cost.
- p) The design must be certified as compliant with the terms of this condition by a suitably qualified Civil Engineer.
- q) Details demonstrating compliance are to be submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

- r) All plumbing within the site must be carried out in accordance with Australian Standard *AS/NZS3500.3.2015 Plumbing and Drainage – Stormwater Drainage*.
21. Linen plans and accompanying 88B instrument for the proposed subdivision prepared by a registered surveyor/solicitor shall be submitted to and accepted by Council before the issue of a Construction Certificate or before the issue of the Subdivision Certificate, whichever occurs first.
22. The design of the vehicular access and off street parking facilities must comply with Australian Standard *AS/NZS2890.1-2004 Parking Facilities – Off-Street Car Parking*. Details demonstrating compliance are to be provided prior to the issue of a Construction Certificate. Concern is raised about the following issues:
- a) There is insufficient vehicle manoeuvring area on Redmond Street for entry and exit to the proposed garages via the proposed 3m wide vehicle entries considering the existing on street parking spaces which must be retained.
- b) The vehicle entries must be widened and a plan of the proposed access and adjacent laneway, drawn at a 1:200 scale, demonstrating that vehicle manoeuvrability for entry and exit to the parking space complies with the AS/NZS 2890.1:2004. The plan must include any existing on street parking spaces, vehicle manoeuvring clearances and all garage door fixtures etc.

Note: Due to the width of the proposed lots the garages may need to be setback from the boundary to achieve vehicular access or alternatively there may not be sufficient width to achieve vehicular access to one or more of the proposed garages.

The proposed pedestrian door adjacent to the garage door must be removed and access to the garage is to be made available through the garage roller door.

- c) Subject to satisfying the above concerns, The following specific issues must be addressed in the design:
- a. The garage slab or driveway must rise within the property to be 170mm above the adjacent road gutter level. The longitudinal profile across the width of the vehicle crossing must comply with the Ground Clearance requirements of AS/NZS 2890.1-2004.
- b. A minimum of 2200mm headroom must be provided throughout the access and parking facilities. Note that the headroom must be measured at the lowest projection from the ceiling, such as lighting fixtures, and to open garage doors.

- c. Longitudinal sections along both sides of the access and parking shall be provided, demonstrating compliance with the above requirements. The long section shall begin from the centreline of the adjacent road to a minimum of 3 metres into the property and is to be prepared at a scale of 1:20.
- d. The parking space must have minimum clear internal dimensions of 6000mm x 3000mm (length x width). The dimensions must be exclusive of obstructions such as walls, doors and columns, except where they do not encroach inside the design envelope specified in Section 5.2 of AS/NZS 2890.1-2004.

A plan of the proposed access and adjacent road, drawn at a 1:200 scale, demonstrating that vehicle manoeuvrability for entry and exit to the parking space complies with the AS/NZS 2890.1:2004. The plan must include 900mm wing of layback on each side of the crossings at the kerb line in Redmond Street

PRIOR TO THE COMMENCEMENT OF WORKS

23. The proposed structure(s) to be erected must stand wholly within the boundaries of the subject site. No portion of the proposed structure, including gates and doors during opening and closing operations, shall encroach onto adjoining properties or upon public property.

To ensure that the location of the building satisfies the provision of the approval, the footings and walls within one (1) metre of the property boundaries must be set out by or the location certified by a registered surveyor in accordance with the approved plans, prior to the commencement of works.

To ensure that the location of the building satisfies the provision of the approval, a check survey certificate shall be submitted to the Principal Certifying Authority either prior to the pouring of the ground floor slab or at dampcourse level, whichever is applicable or occurs first, indicating the:

- a) location of the building with respect to the boundaries of the site;

24. The site must be secured with temporary fencing prior to any works commencing.

If the work involves the erection or demolition of a building and is likely to cause pedestrian or vehicular traffic on public property to be obstructed or rendered inconvenient, or building involves the enclosure of public property, a hoarding or fence must be erected between the work site and the public property. Additionally an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling onto public property, where necessary.

Separate approval is required under the *Roads Act 1993* to erect a hoarding or temporary fence or awning on public property. Approvals for hoardings, scaffolding

on public land must be obtained and clearly displayed on site for the duration of the works.

Any hoarding, fence or awning is to be removed when the work is completed and must be maintained clear of any advertising.

25. The *Home Building Act 1989* requires that insurance must be obtained from an insurance company approved by the Department of Fair Trading prior to the commencement of works approved by this Development Consent.

A copy of the certificate of insurance must be submitted to the Certifying Authority prior to the works commencing.

If the work is to be undertaken by an owner-builder, written notice of their name and owner-builder permit number must be submitted to the Certifying Authority.

In all other cases, written notice must be given to the Certifying Authority of:

- a) the name and licence number of the principal contractor; and
- b) reasons why a certificate of insurance is not required.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

26. Any person acting on this consent or any contractors carrying out works on public roads or Council controlled lands shall take out Public Liability Insurance with a minimum cover of twenty (20) million dollars in relation to the occupation of, and approved works within those lands. The Policy is to note, and provide protection for Inner West Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.
27. Prior to the commencement of works, the Principal Certifying Authority shall be notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
28. At least forty-eight (48) hours prior to the commencement of works, a notice of commencement form (available on Council's web page) and details of the appointed Principal Certifying Authority shall be submitted to Council.
29. Prior to the commencement of works, a sign must be erected in a prominent position on the site (for members of the public to view) on which the proposal is being carried out. The sign must state:
- a) Unauthorised entry to the work site is prohibited.
 - b) The name of the principal contractor (or person in charge of the site) and

a telephone number at which that person may be contacted at any time for business purposes and outside working hours.

- c) The name, address and telephone number of the Principal Certifying Authority for the work.

Any such sign must be maintained while the work is being carried out, but must be removed when the work has been completed.

Photographic evidence demonstrating compliance with the requirements of this condition is to be submitted to the satisfaction of the Principal Certifying Authority and Council for records purposes prior to the commencement of any onsite work.

DURING WORKS

30. Building materials and machinery are to be located wholly on site unless separate consent (Standing Plant Permit) is obtained from Council/ the roads authority. Building work is not to be carried out on the footpath.

Construction materials and vehicles shall not block or impede public use of the footpath or roadway.

31. All excavations and backfilling associated with the development must be executed safely, properly guarded and protected to prevent them from being dangerous to life or property and in accordance with the design of a suitably qualified structural engineer.

If excavation extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must:

- a) Preserve and protect the building from damage.
- b) If necessary, underpin and support the building in an approved manner.
- c) Give at least seven (7) days notice to the adjoining owner before excavating, of the intention to excavate within the proximity of the respective boundary.

Any proposed method of support to any excavation adjacent to adjoining properties or any underpinning is to be designed by a Chartered Civil Engineer, with National Professional Engineering Registration (NPER) in the construction of civil/structural works. Copies of the design plans must be provided to the relevant adjoining property owner/s prior to commencement of such works. Prior to backfilling, any method of support constructed must be inspected by the designing Engineer with certification provided to all relevant parties.

32. The site must be appropriately secured and fenced at all times during works.
33. All fill used with the proposal shall be virgin excavated material (such as clay,

gravel, sand, soil and rock) that is not mixed with any other type of waste and which has been excavated from areas of land that are not contaminated with human made chemicals as a result of industrial, commercial, mining or agricultural activities and which do not contain sulphate ores or soils.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority.

34. Unless otherwise approved by Council, excavation, demolition, construction or subdivision work shall only be permitted during the following hours:
- a) 7:00 am to 6:00 pm, Mondays to Fridays, inclusive (with demolition works finishing at 5pm);
 - b) 8:00 am to 1:00 pm on Saturdays with no demolition works occurring during this time; and
 - c) at no time on Sundays or public holidays.

Works may be undertaken outside these hours where they do not create any nuisance to neighbouring properties in terms of dust, noise, vibration etc and do not entail the use of power tools, hammers etc. This may include but is not limited to painting.

In the case that a standing plant or special permit is obtained from Council for works in association with this development, the works which are the subject of the permit may be carried out outside these hours.

This condition does not apply in the event of a direction from police or other relevant authority for safety reasons, to prevent risk to life or environmental harm.

Activities generating noise levels greater than 75dB(A) such as rock breaking, rock hammering, sheet piling and pile driving shall be limited to:

8:00 am to 12:00 pm, Monday to Saturday; and
2:00 pm to 5:00 pm Monday to Friday.

The Proponent shall not undertake such activities for more than three continuous hours and shall provide a minimum of one 2 hour respite period between any two periods of such works.

“Continuous” means any period during which there is less than an uninterrupted 60 minute respite period between temporarily halting and recommencing any of that intrusively noisy work.

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997* and guidelines contained in the New South Wales Environment Protection Authority Environmental Noise Control Manual.

35. In addition to meeting the specific performance criteria established under this consent, the Applicant shall implement all reasonable and feasible measures to prevent and/or minimise any harm to the environment that may result from the demolition, construction or operation/use of the development.
36. Any new information revealed during development works that has the potential to alter previous conclusions about site contamination or hazardous materials shall be immediately notified to the Council and the Principal Certifying Authority.
37. The development must be inspected at the following stages by the Principal Certifying Authority during construction:
 - a) after excavation for, and prior to the placement of, any footings, and
 - b) prior to pouring any in-situ reinforced concrete building element, and
 - c) prior to covering of the framework for any floor, wall, roof or other building element, and
 - d) prior to covering waterproofing in any wet areas, and
 - e) prior to covering any stormwater drainage connections, and
 - f) after the building work has been completed and prior to any occupation certificate being issued in relation to the building.
38. A copy of the approved plans and this consent must be kept on site for the duration of site works and in the case of any commercial or industrial premise for the duration of the use/trading. Copies shall be made available to Council Officer's upon request.
39. Sedimentation controls, tree protection measures and safety fencing (where relevant) shall be maintained during works to ensure they provide adequate protection during the course of demolition, excavation and construction works. Materials must be stored in a location and manner to avoid material being washed to drains or adjoining properties.

The requirements of the Soil and Water Management Plan must be maintained at all times during the works and shall not be removed until the site has been stabilised to the Principal Certifying Authority's satisfaction.

Material from the site is not to be tracked onto the road by vehicles entering or leaving the site. At the end of each working day any dust/dirt or other sediment shall be swept off the road and contained on the site and not washed down any stormwater pit or gutter.

The sediment and erosion control measures are to be inspected daily and defects or system failures are to be repaired as soon as they are detected.
40. No trees on public property (footpaths, roads, reserves etc) are to be removed or damaged during works unless specifically approved in this consent or marked on the approved plans for removal.

Prescribed trees protected by Council's controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent.

PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

41. A second Dilapidation Report including photos of any damage evident at the time of inspection must be submitted after the completion of works. A copy of this Dilapidation Report must be given to the property owners referred to in this Development Consent. The report must:

- Compare the post construction report with the pre-construction report required by these conditions,
- Clearly identify any recent damage and whether or not it is likely to be associated with the development works including suggested remediation methods.

A copy must be lodged with Council and the Principal Certifying Authority prior to the issue of an Occupation Certificate. Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issuing of any Occupation Certificate.

42. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that the stormwater drainage system has been constructed in accordance with the approved design and relevant Australian Standards.

Works-as-executed plans of the stormwater drainage system, certified by a Registered Surveyor, together with certification by a qualified practicing Civil Engineer to verify that the drainage system has been constructed and OSD/OSR system commissioned in accordance with the approved design and relevant Australian Standards, shall be submitted and accepted by Council prior to the issue of an Occupation Certificate.

The works-as-executed plan(s) must show the as built details in comparison to those shown on the drainage plans approved with the Construction Certificate. All relevant levels and details indicated must be marked in red on a copy of the Principal Certifying Authority stamped Construction Certificate plans

43. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that an Operation and Management Plan has been prepared and implemented for the OSD and/or OSR facilities. The Plan must set out the following at a minimum:
- a) The proposed maintenance regime, specifying that the system is to be regularly inspected and checked by qualified practitioners.
 - b) The proposed method of management of the facility, including procedures, safety protection systems, emergency response plan in the event of blockage, etc.

The plan must be prepared by a suitably qualified professional and provided to the Principal Certifying Authority prior to the issue of an Occupation Certificate

44. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that the vehicle access and off street parking facilities have been constructed in accordance with the approved design and relevant Australian Standards.

Certification by a qualified practicing Civil Engineer that the vehicular access and off street parking facilities have been constructed in accordance the development consent and with relevant Australian Standards must be provided to the Principal Certifying Authority prior to the issue of an Occupation Certificate.

45. An Occupation Certificate must be obtained prior to any use or occupation of the development or part thereof. The Principal Certifying Authority must ensure that all works are completed in accordance with this consent including all conditions.
46. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that all works have been completed in accordance with the approved Waste Management Plan referred to in this development consent.

Proof of actual destination of demolition and construction waste shall be provided to the Principal Certifying Authority prior to the issue of an Occupation Certificate.

47. The following works must be constructed:
 - a) Light duty concrete vehicle crossing(s) at the vehicular access location(s).
 - b) The redundant vehicular crossing to the site shall be removed and replaced by kerb and gutter and footpath. Where the kerb in the vicinity of the redundant crossing is predominately stone (as determined by Council's Engineer) the replacement kerb shall also be in stone.
 - c) The existing concrete footpath across the frontage of the site shall be reconstructed.
 - d) The existing damaged or otherwise defective kerb and gutter, footpath and/or road pavement adjacent to the site shall be restored.

All works shall be constructed in accordance with Council's standards and specifications and AUS-SPEC#2-"Roadworks Specifications" before the issue of the Occupation Certificate and at no cost to Council.

Other general requirements that must be considered when designing the vehicular crossing include:

- Within the road reserve, the crossing or driveway must be aligned perpendicular to the alignment of the kerb and gutter or edge of road.

The applicant will be responsible for all costs associated with the construction of the crossing, including adjustment to footpath, kerb and gutter, road

pavement, stormwater drainage and service utilities, eg Telstra pits or power poles

48. Prior to issue of the Occupation Certificate the person acting on this consent shall obtain from Council a compliance Certificate(s) stating that all Road, Footpath, Vehicle Crossing and Public Domain Works on Council property required to be undertaken as a result of this development have been completed satisfactorily and in accordance with Council approved plans and specifications
49. You are advised that Council has not undertaken a search of existing or proposed utility services adjacent to the site in determining this application. It is responsibility of applicant's contractor to verify location of the utility services with the relevant service authority. Any adjustment or augmentation of any public utility services including Gas, Water, Sewer, Electricity, Street lighting and Telecommunications required as a result of the development shall be at no cost to Council and undertaken before the issue of an Occupation Certificate.
50. Prior to the issue of an Occupation Certificate, a positive covenant must be created under Section 88E of the *Conveyancing Act 1919*, burdening the owner(s) with the requirement to maintain the on-site stormwater detention facilities on the property.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

- a) The Proprietor of the property shall be responsible for maintaining and keeping clear all pits, pipelines, trench barriers and other structures associated with the on-site stormwater detention facilities ("OSD").
- b) The Proprietor shall have the OSD inspected annually by a competent person.
- c) The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all pits, pipelines, trench barriers and other structures in or upon the said land which comprise the OSD or which convey stormwater from the said land; and recover the costs of any such works from the proprietor.
- d) The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the OSD, or failure to clean, maintain and repair the OSD.

The proprietor or successor must bear all costs associated in the preparation of the subject 88E instrument. Proof of registration with NSW Land and Property Information must be submitted to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate / Subdivision Certificate.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issuing of any Occupation Certificate

51. Alignment levels for the site at all pedestrian and vehicular access locations shall match the existing back of footpath levels at the boundary. For vehicular access off rear laneways the level at the boundary shall match the invert level of the adjacent gutter plus 110mm at both sides of the vehicle entry
52. Encroachments onto Council's road or footpath of any service pipes, sewer vents, boundary traps, downpipes, gutters, stairs, doors, gates, garage tilt up panel doors or any structure whatsoever shall not be permitted. Any encroachments on to Council road or footpath resulting from the building works will be required to be removed before the issue of the Occupation Certificate
53. The vehicular crossing and/or footpath works are required to be constructed by your own contractor. You or your contractor must complete an application for 'Application for Construction of Vehicle Crossing and Public Domain Works – Step 2' form, lodge a bond for the works, pay the appropriate fees and provide evidence of adequate public liability insurance, before commencement of works
54. Prior to the release of an Occupation Certificate, the Principal Certifying Authority must be satisfied that the development complies with:
 - the approved plans;
 - BASiX certificate (where relevant),
 - approved documentation (as referenced in this consent); and
 - conditions of this consent.

ONGOING CONDITIONS OF CONSENT

55. The owner/manager of the site is responsible for the removal of all graffiti from the building and fences within seventy-two (72) hours of its application.
56. The Operation and Management Plan for the On-site Stormwater Detention and/or O-site Stormwater Retention/re-use facilities, approved with the Occupation Certificate, must be implemented and kept in a suitable location on site at all times
57. Any lighting of the premises shall be installed and maintained in accordance with Australian Standard AS 4282-1997: *Control of the Obtrusive Effects of Outdoor Lighting* so as to avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads. The intensity, colour or hours of illumination of the lights shall be varied at Council's discretion if in the opinion of an Authorised Council Officer it is considered there to be have adverse effects on the amenity of the area.
58. The premises shall not be used for any purpose other than that stated in the Development Application, i.e. dwelling house without the prior consent of the

Council unless the change to another use is permitted as exempt or complying development under *Leichhardt Local Environment Plan 2013* or *State Environmental Planning policy (Exempt and Complying Codes) 2008*.

The use of the premises as a dwelling house, is defined under the *Leichhardt Local Environmental Plan 2013*.

PRIOR TO THE ISSUE OF A SUBDIVISION CERTIFICATE

59. The Prior to the issue of a Subdivision Certificate, the applicant shall submit an original plan of subdivision plus three (3) copies for Council's endorsement and administration sheet. The following details shall also be submitted:
- a) Evidence that all conditions of Development Consent D/2018/636 have been satisfied.
 - b) Evidence of payment of all relevant fees and contributions.
 - c) The 88B instrument plus six (6) copies.
 - d) A copy of the final Occupation Certificate issued for the development.
 - e) All surveyor's or engineer's certification required by the Development Consent.
 - f) A copy of the Section 73 Compliance Certificate issued by Sydney Water.

PRESCRIBED CONDITIONS

A. BASIX Commitments

Under clause 97A of the Environmental Planning & Assessment Regulation 2000, it is a condition of this development consent that all the commitments listed in each relevant BASIX Certificate for the development are fulfilled. The Certifying Authority must ensure that the building plans and specifications submitted by the Applicant, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

In this condition:

- a) Relevant BASIX Certificate means:
 - (i) a BASIX Certificate that was applicable to the development when this development consent was granted (or, if the development consent is modified under section 96 of the Act, a BASIX Certificate that is applicable to the development when this development consent is modified); or
 - (ii) if a replacement BASIX Certificate accompanies any subsequent application for a construction certificate, the replacement BASIX Certificate; and
- b) BASIX Certificate has the meaning given to that term in the Environmental Planning & Assessment Regulation 2000.

B. Building Code of Australia

All building work must be carried out in accordance with the provisions of the Building Code of Australia.

C. Home Building Act

- 1) Building work that involves residential building work (within the meaning and exemptions provided in the Home Building Act 1989) must not be carried out

unless the Principal Certifying Authority for the development to which the work relates has given Leichhardt Council written notice of the following:

- a) in the case of work for which a principal contractor is required to be appointed:
 - i) the name and licence number of the principal contractor, and
 - ii) the name of the insurer by which the work is insured under Part 6 of that Act, or
 - b) in the case of work to be done by an owner-builder:
 - i) the name of the owner-builder, and
 - ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- 2) If arrangements for doing residential building work are changed while the work is in progress so that the information submitted to Council is out of date, further work must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council), has given the Council written notice of the updated information.

Note: A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this clause, sufficient evidence that the person has complied with the requirements of that Part.

D. Site Sign

- 1) A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:
 - a) stating that unauthorised entry to the work site is prohibited;
 - b) showing the name of the principal contractor (or person in charge of the work site), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and
 - c) showing the name, address and telephone number of the Principal Certifying Authority for the work.
- 2) Any such sign must be maintained while building work or demolition work is being carried out, but must be removed when the work has been completed.

E. Condition relating to shoring and adequacy of adjoining property

- (1) For the purposes of section 4.17(11) of the Act, it is a prescribed condition of development consent that if the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:
 - (a) protect and support the adjoining premises from possible damage from the excavation, and
 - (b) where necessary, underpin the adjoining premises to prevent any such damage.
- (2) The condition referred to in subclause (1) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

NOTES

1. This Determination Notice operates or becomes effective from the endorsed date of consent.
2. Section 8.2 of the *Environmental Planning and Assessment Act 1979* provides for an applicant to request Council to review its determination. This does not apply to applications made on behalf of the Crown, designated development or a complying development certificate. The request for review must be made within six (6) months of the date of determination or prior to an appeal being heard by the Land and Environment Court. Furthermore, Council has no power to determine a review after the expiration of these periods. A decision on a review may not be further reviewed under Section 8.2.
3. If you are unsatisfied with this determination, Section 8.7 of the *Environmental Planning and Assessment Act 1979* gives you the right of appeal to the Land and Environment Court within six (6) months of the determination date.
4. Failure to comply with the relevant provisions of the *Environmental Planning and Assessment Act 1979* and/or the conditions of this consent may result in the serving of penalty notices or legal action.
5. Works or activities other than those approved by this Development Consent will require the submission of a new development application or an application to modify the consent under Section 4.55 of the *Environmental Planning and Assessment Act 1979*.
6. This decision does not ensure compliance with the *Disability Discrimination Act 1992*. Applicants should investigate their potential for liability under that Act.
7. This development consent does not remove the need to obtain any other statutory consent or approval necessary under any other Act, such as (if necessary):
 - a) Application for any activity under that Act, including any erection of a hoarding.
 - b) Application for a Construction Certificate under the *Environmental Planning and Assessment Act 1979*.
 - c) Application for an Occupation Certificate under the *Environmental Planning and Assessment Act 1979*.
 - d) Application for a Subdivision Certificate under the *Environmental Planning and Assessment Act 1979* if land (including stratum) subdivision of the development site is proposed.
 - e) Application for Strata Title Subdivision if strata title subdivision of the development is proposed.
 - f) Development Application for demolition if demolition is not approved by this consent.
 - g) Development Application for subdivision if consent for subdivision is not granted by this consent.

h) An application under the Roads Act 1993 for any footpath / public road occupation. A lease fee is payable for all occupations.

8. Prior to the issue of the Construction Certificate, the applicant must make contact with all relevant utility providers (such as Sydney Water, Energy Australia etc) whose services will be impacted upon by the development. A written copy of the requirements of each provider, as determined necessary by the Certifying Authority, must be obtained.

Attachment B – Plans of proposed development



PROPOSED GROUND FLOOR PLAN

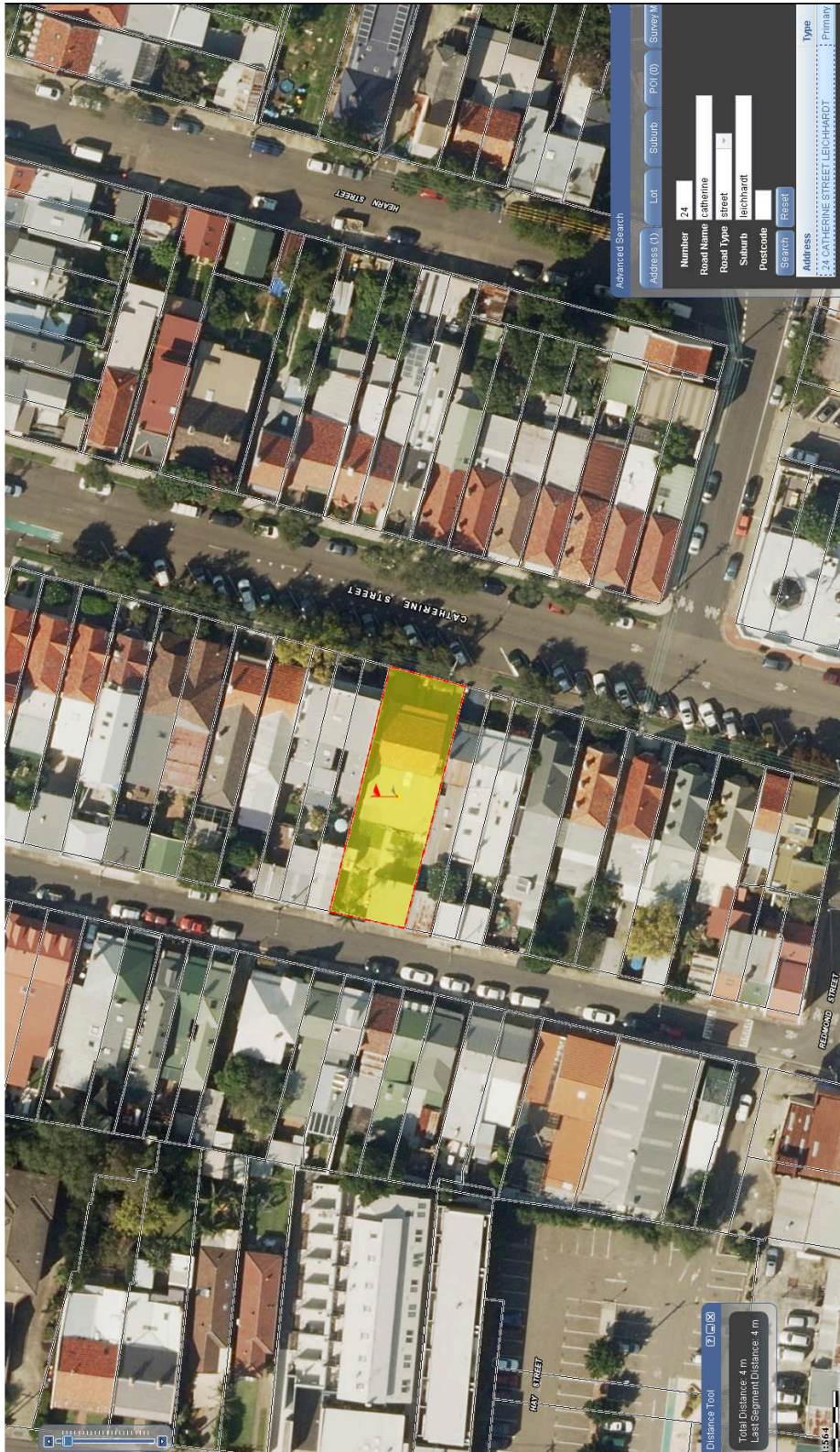
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|--|---|--|---|---|-------------------------|
| SCALE: 1:100 @ A3 DRAWN: S.G. CHECKED: S.G. | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS DRAWING: PROPOSED GROUND FLOOR PLAN | CLIENT: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22 SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DATE: 08.05.2018 18.05.2018 27.07.2019 | Development Design Pty Ltd ACN 107 176 887 340a Riley Street Surry Hills NSW 2010 +61 (02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | ISSUE: C |
| | | | | | DO NOT SCALE DRAWING |
| | | | | | SHEET NO. 1.02 |

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PROPOSED FIRST FLOOR PLAN

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|-----------------------|--|---|---|--|---|--|---|
| ISSUE: A B C | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | CLIENT: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22 SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS DRAWING: PROPOSED FIRST FLOOR PLANS CHECKED: S.G. | SCALE: 1:100 @ A3 DRAWN: S.G. CHECKED: S.G. | ISSUE: C DA SHEET No: 1.03 DO NOT SCALE DRAWING |
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| | SEC 4.55 PLANS NOT FOR CONSTRUCTION | | | | | | |



SITE & SUBDIVISION ANALYSIS

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| SCALE: DRAWN: S.G CHECKED: S.G | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 9 ATTACHED DWELLINGS DRAWING: SITE & SUBDIVISION ANALYSIS | CLIENT: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | ISSUE: C DA SHEET No: 0.01 |
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| SECT 4.55 PLANS FOR CONSTRUCTION | | DATE: 09.05.2018 19.05.2018 27.07.2019 | |
| AMENDMENTS: A PRE-DA ISSUE B DA ISSUE C SEC 4.55 MODIFICATION | | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | |
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SEC 4.55 PLANS FOR CONSTRUCTION

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| B | DA ISSUE |
| C | SEC 4.55 MODIFICATION |

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| DATE: | 08.06.2018 |
| | 19.06.2018 |
| | 27.07.2019 |

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| Development Design Pty Ltd |
| ACN 107 116 867 |
| 34-0a Riley Street Surry Hills NSW 2010 |
| +61(02) 9211 7600 info@developmentdesign.com.au |
| www.developmentdesign.com.au |

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|-----------------|---|
| CLIENT: | TRADER IN PURPLE 113PTY LTD |
| ADDRESS: | LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 |

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| PROJECT: | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| DRAWING: | SITE ANALYSIS |

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| SHEET No: | 0.02 |

SITE ANALYSIS



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SEC4.65 PLANS FOR CONSTRUCTION

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| PROJECT: | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| CLIENT: | TRADER IN PURPLE 113PTY, LTD |
| ADDRESS: | LOT 22, SEC B DP 119 24 CATHERINE STREET LEICHHARDT 2040 |
| DRAWING: | SITE ANALYSIS |

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SECC4.65 PLANS FOR CONSTRUCTION

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| C | SEC 4.55 MODIFICATION |

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| | 19.06.2018 |
| | 27.07.2019 |

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| Development Design Pty Ltd | CLIENT: |
| ACN 107 116 867 | TRADER IN PURPLE 113PTY, LTD |
| 34-0a Riley Street Surry Hills NSW 2010 | ADDRESS: |
| +61(02) 9211 7600 info@developmentdesign.com.au | LOT 22, SEC B in DP 119 |
| www.developmentdesign.com.au | 24 CATHERINE STREET |
| | LEICHHARDT 2040 |

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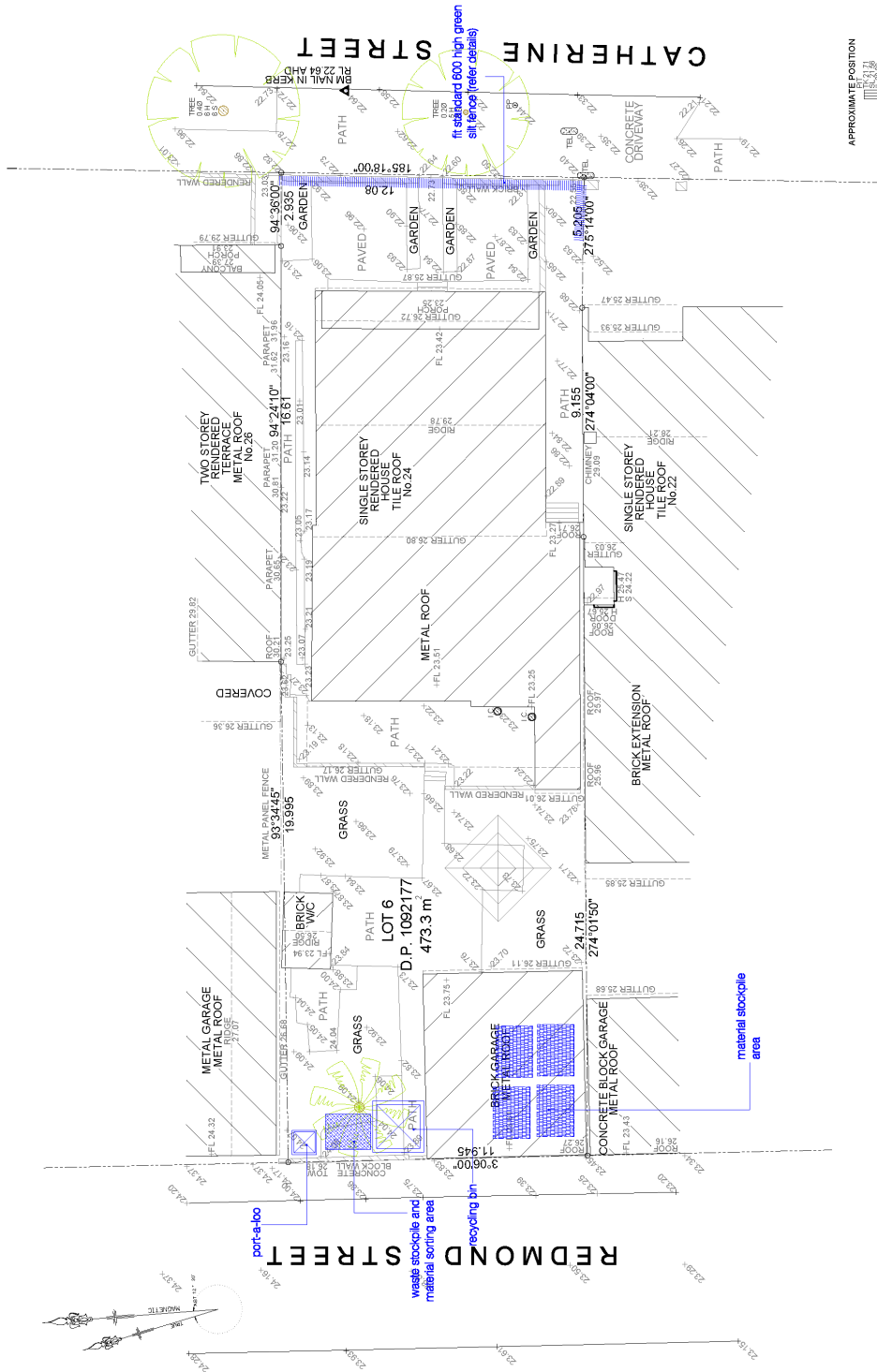
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| | ISSUES: A B C | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: EXISTING SITE PLAN & CONSTRUCTION MANAGEMENT PLAN | DRAWN: SG | CHECKED: SG | DO NOT SCALE DRAWING | SHEET NO.: 0.05 |
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POST DEVELOPMENT STATISTICS

| SUBJECT | PROPOSED LOT 1 | PROPOSED LOT 2 | PROPOSED LOT 3 | COMPLIANCE |
|---------------------|--|--|--|---|
| Site Area | 180.51m ² | 157.28m ² | 155.49m ² | |
| Ground Floor | 66.30m ² | 66.21m ² | 64.80m ² | |
| First Floor | 60.72m ² | 61.65m ² | 60.18m ² | |
| Rear Deck | 12.38m ² | 12.00m ² | 11.80m ² | |
| Central Deck | 7.00m ² | 7.20m ² | 7.00m ² | |
| Porch | 4.69m ² | 4.66m ² | 4.69m ² | |
| Car Space Hardstand | 26.09m ² | 26.00m ² | 26.27m ² | |
| Rear Landscape | 26.27m ² | 26.23m ² | 24.42m ² | |
| Central Landscape | 1.84m ² | 1.14m ² | 1.62m ² | |
| Front Landscape | 8.26m ² | 8.34m ² | 8.54m ² | |
| G.F.A | 126.02m ² | 127.79m ² | 124.98m ² | |
| P.O.S | 47.49m ² | 46.62m ² | 44.84m ² | Complies with 16m ² & 3m min dimension |
| FLOOR SPACE RATIO | 126.02/180.51m ² 0.785 : 1 | 127.79/157.28m ² 0.813 : 1 | 124.98/155.49m ² 0.803 : 1 | NO (Lot 2) NO (Lot 3) |
| TOTAL LANDSCAPE | 36.37/180.51m ² 20% | 34.76/157.28m ² 22% | 34.69/155.49m ² 22% | Complies with 15% min |
| SITE COVERAGE | 71.72/180.51m ² 45% | 71.66/157.28m ² 46% | 71.77/155.49m ² 46% | Complies with 60% max |

| Development Standard | LEP 2013 Requirement | Proposed Lot 1 | Proposed Lot 2 | Proposed Lot 3 | Compliance | % of Non-compliance |
|----------------------|----------------------|--|--|--|--|---|
| Lot Size | 200m ² | 180.51m ² | 157.28m ² | 155.49m ² | NO however supported under DA Approval | Lot 1 : 20% Lot 2 : 21% Lot 3 : 21% (refer Clause 4.6 Exception to Development Standard) |
| Floor Space Ratio | 0.7 : 1 | 126.02/180.51m ² 0.785 : 1 | 127.79/157.28m ² 0.813 : 1 | 124.98/155.49m ² 0.803 : 1 | NO (Lot 1) NO (Lot 2) NO (Lot 3) | 12% 16% 15% |
| Landscape Ratio | 15% | 36.37/180.51m ² 20% | 34.76/157.28m ² 22% | 34.69/155.49m ² 22% | YES | N/A |
| Site Coverage | 60% | 71.72/180.51m ² 45% | 71.66/157.28m ² 46% | 71.77/155.49m ² 46% | YES | N/A |

SEC4.55 PLANS FOR CONSTRUCTION

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| ISSUE: | A B C |
| AMENDMENTS: | PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION |
| DATE: | 08.05.2018 19.09.2018 27.07.2019 |

Development Design Pty Ltd
ACN 107 176 367
340a Riley Street Surry Hills NSW 2010
+61(0)2(1) 7800 1 info@developmentdesign.com.au
www.developmentdesign.com.au

CLIENT:
TRADER IN PURPLE 113PTY LTD
ADDRESS:
LOT 22, SEC B in DP 119
24 CATHERINE STREET
LEICHHARDT 2040

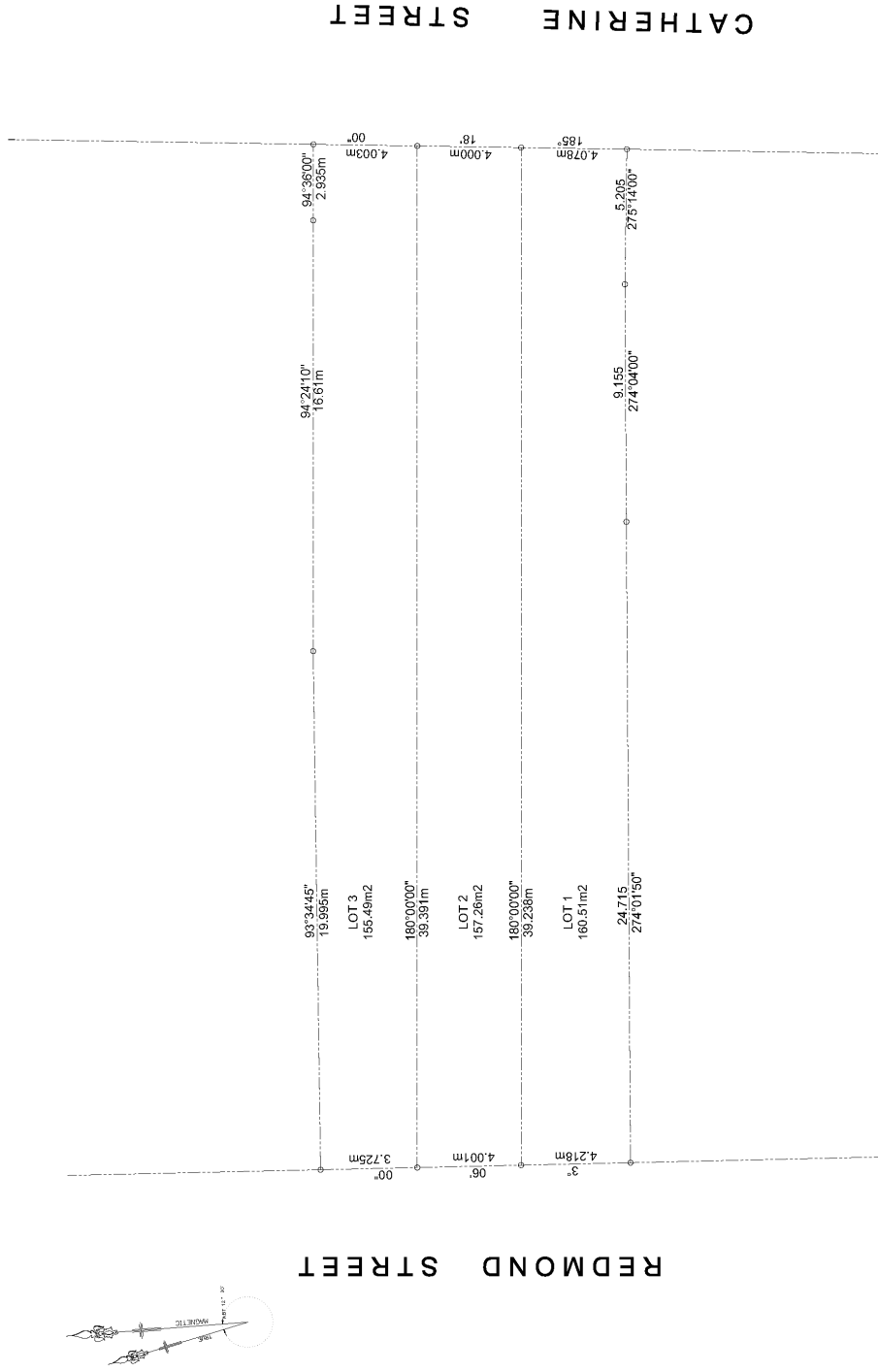
PROJECT:
PROPOSED SUBMISSION & CONSTRUCTION OF 3 ATTACHED DWELLINGS
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SITE CALCULATIONS & COMPLIANCE TABLE
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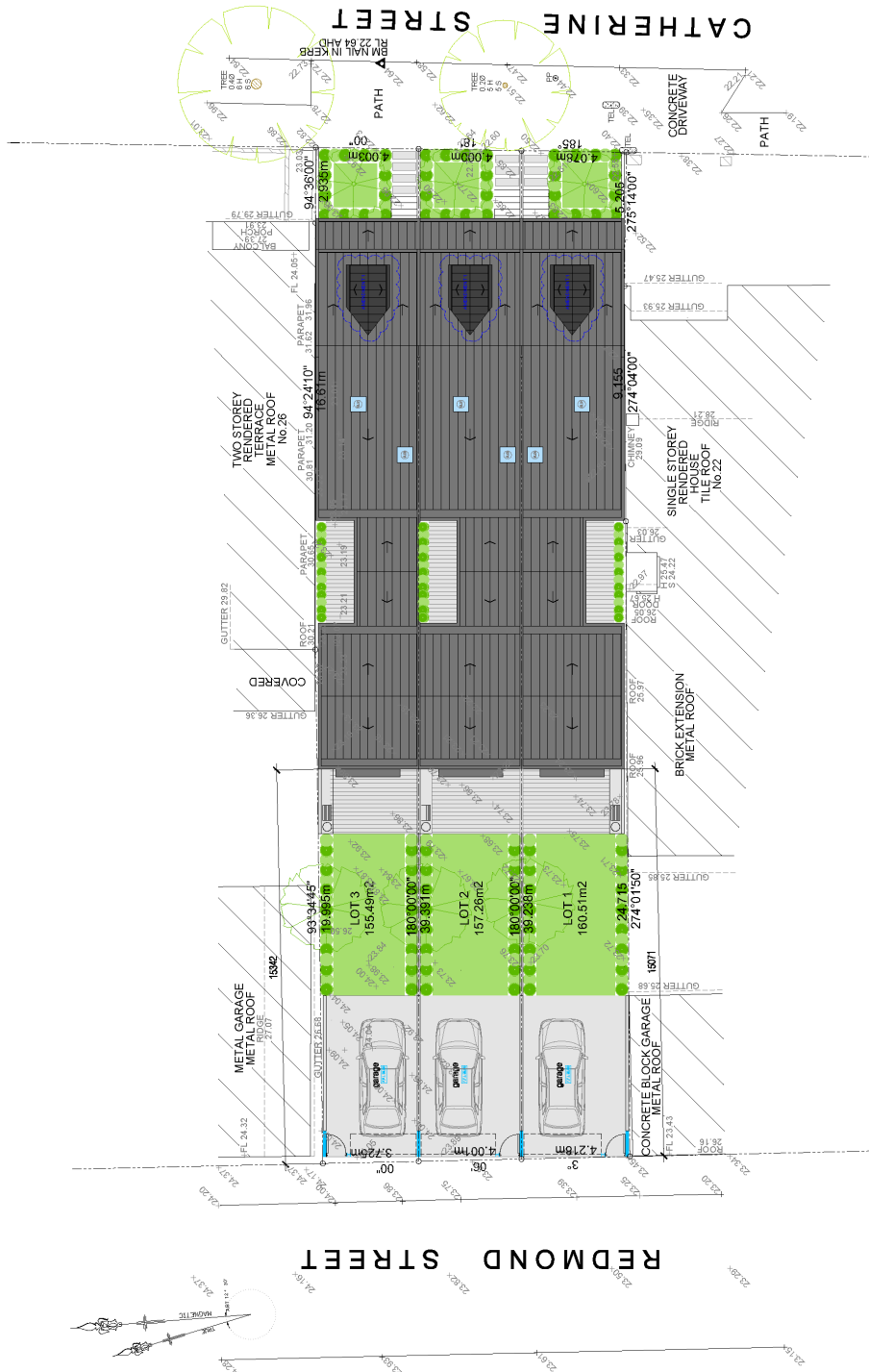
SITE CALCULATIONS AND COMPLIANCE TABLE

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| SECC4.55 PLANS FOR CONSTRUCTION | | PROPOSED TORRENS TITLE SUBDIVISION CONCEPT PLAN | |
|---------------------------------|-----------------------|---|---|
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| A | PRE-DA ISSUE | Development Design Pty Ltd | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
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APPROXIMATE POSITION WITHIN SITE

PROPOSED ROOF PLAN ANALYSIS

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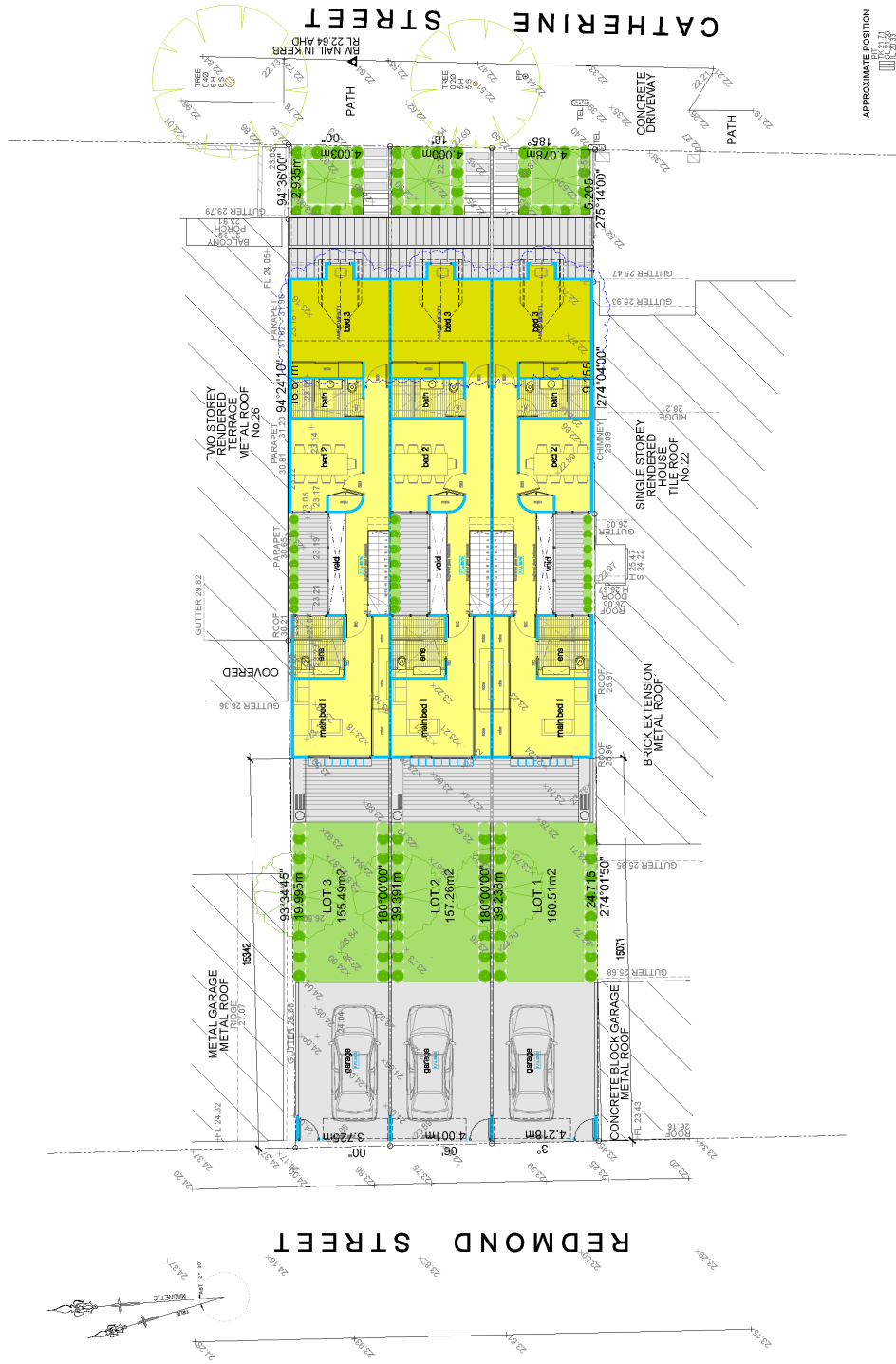
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| PROJECT: | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| DRAWING: | PROPOSED ROOF PLAN ANALYSIS |

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| CLIENT: | TRADER IN PURPLE 113PTY LTD |
| ADDRESS: | LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 |

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PROPOSED FIRST FLOOR ANALYSIS

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CHECKED: S/G

CLIENT: TRADER IN PURPLE 113PTY LTD
ADDRESS: LOT 22, SEC B in DP 119
 24 CATHERINE STREET
 LEICHHARDT 2040

DATE: 08.05.2018
 18.06.2018
 27.07.2019
AMENDMENTS:
 A PRE-DA ISSUE
 B DA ISSUE
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SECT 4.55 PLANS NOT FOR CONSTRUCTION

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| <p>SECC 4.55 PLANS NOT FOR CONSTRUCTION</p> | | <p>APPROXIMATE POSITION</p> | |
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| <p>AMENDMENTS: PREDA ISSUE DA ISSUE SEC 4.55 MODIFICATION</p> | | <p>PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS</p> | |
| <p>DATE: 08.05.2018 18.06.2018 27.07.2019</p> | | <p>DRAWN: S.G. CHECKED: S.G.</p> | |
| <p>ISSUE: C</p> | | <p>DO NOT SCALE DRAWING</p> | |
| <p>CLIENT: Development Design Pty Ltd</p> | | <p>DRAWING: PROPOSED GROUND FLOOR ANALYSIS</p> | |
| <p>ACN 107 176 867</p> | | <p>SHEET No: 0.12</p> | |
| <p>340a Riley Street Surry Hills NSW 2010</p> | | <p>ADDRESS: LOT 22 SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040</p> | |
| <p>+61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au</p> | | <p>ALL BUILDINGS WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER/ISSUER.</p> | |



PROPOSED ROOF PLAN

SEC4.55 PLANS
NOT FOR CONSTRUCTION

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|-----------------------|--|---|---|---|---|----------------------|-------------------------|
| ISSUE: A B C | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | CLIENT: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS DRAWING: PROPOSED ROOF PLAN | SCALE: 1:100 @ A3 | ISSUE: C |
| | | | | | | DRAWN: S.G | DO NOT SCALE DRAWING |
| | | | | | | CHECKED: S.G | SHEET No: 1.02 |

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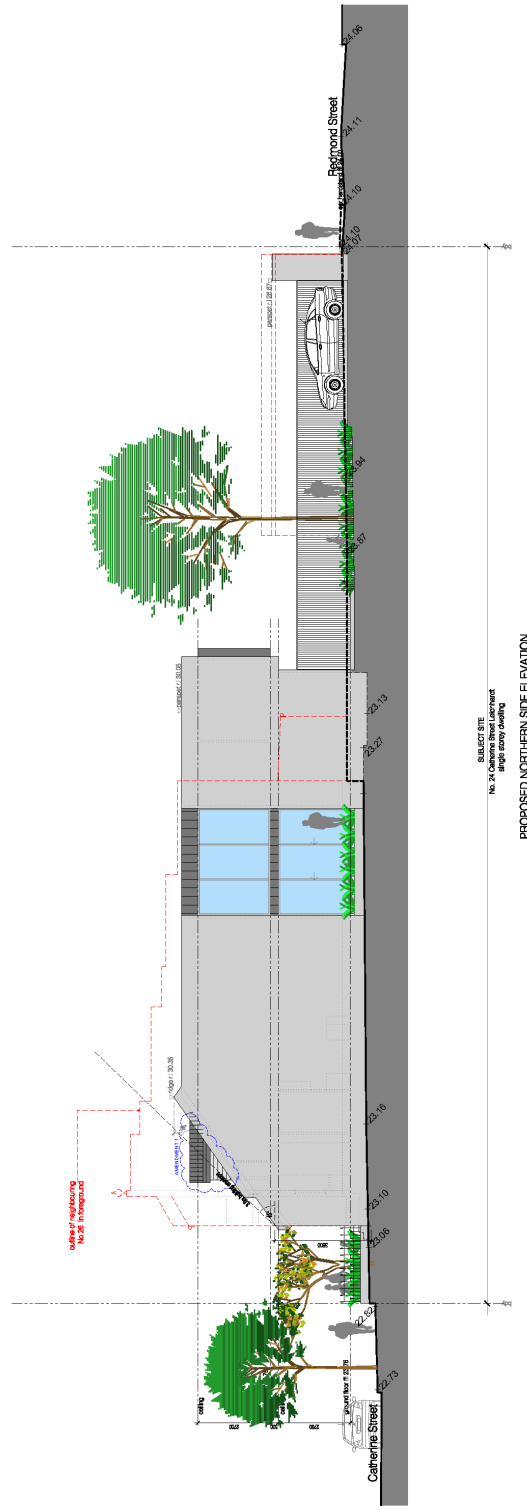


PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION

SEC 4.55 PLANS FOR CONSTRUCTION

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|-----------------------|--|---|---|--|---|-------------------------|-------------------|
| ISSUE: A B C | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 | CLIENT: TRADER IN PURPLE 113PTY LTD | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:100 @ A3 | ISSUE: C |
| | | | ADDRESS: 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | ADDRESS: 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION | DRAWN: S.G. | DA |
| | | | | | CHECKED: S.G. | DO NOT SCALE DRAWING | SHEET No: 2.03 |

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SEC4.55 PLANS FOR CONSTRUCTION

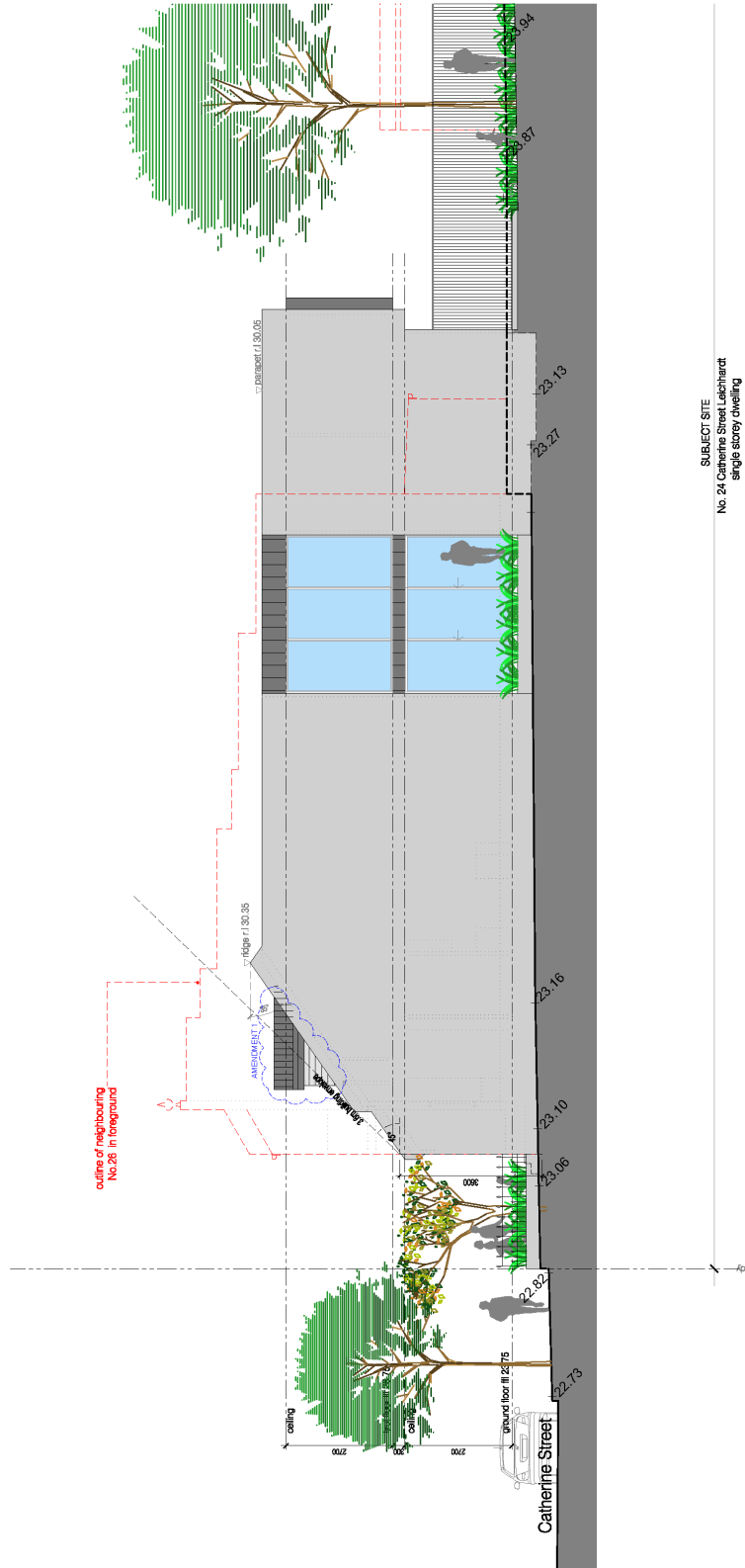
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| ISSUE: A B C | AMENDMENTS: | DATE: | CLIENT: | PROJECT: | SCALE: | ISSUE: |
| | PREDA ISSUE | 08.05.2018 | Development Design Pty Ltd | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | 1:150 @ A3 | C |
| | DA ISSUE SEC 4.55 MODIFICATION | 18.06.2018 27.07.2019 | ACN 107 176 867 | TRADER IN PURPLE 113PTY LTD | DRAWN: S.G | DA |

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| DO NOT SCALE DRAWING | CHECKED: S.G | SHEET No: 2.05 |
| | S.G | |

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| ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED NORTHERN SIDE ELEVATION |
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|-----------------------------------|--------------------------|--------------------------|---|---|------------|-------------------|
| ISSUE: A B C | AMENDMENTS: | DATE: | CLIENT: | PROJECT: | SCALE: | ISSUE: |
| PREDA ISSUE | 08.05.2018 | 08.05.2018 | Development Design Pty Ltd | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | 1:150 @ A3 | C |
| DA ISSUE SEC 4.55 MODIFICATION | 18.06.2018 27.07.2019 | 18.06.2018 27.07.2019 | ACN 107 176 867 | TRADER IN PURPLE 113PTY LTD | DRAWN: S.G | DA |
| DO NOT SCALE DRAWING | CHECKED: S.G | S.G | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED NORTHERN SIDE ELEVATION | S.G | SHEET No: 2.05 |

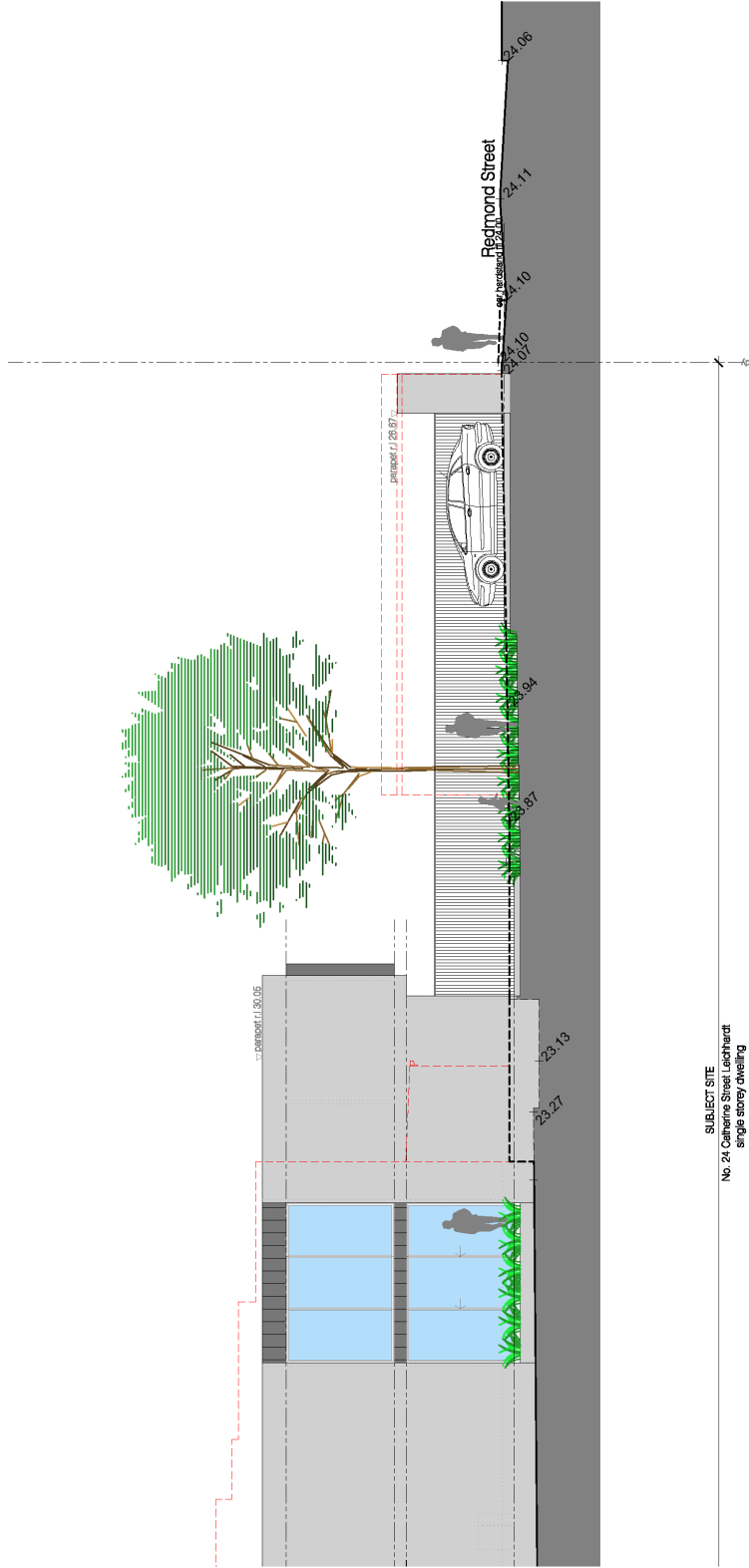
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SUBJECT SITE
No. 24 Catherine Street, Leichhardt
single storey dwelling

PROPOSED NORTHERN SIDE ELEVATION

| | | | | | | | | | | | |
|--|--|--|--|--|--|---|--|----------------------|--|-------------------|--|
| SEC4.55 PLANS FOR CONSTRUCTION | | DATE: 08.05.2018 19.06.2018 27.07.2019 | | CLIENT: Development Design Pty Ltd ACN 107 176 867 | | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | | SCALE: 1:100 @ A3 | | ISSUE: C | |
| AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | | DRAWING: PROPOSED NORTHERN SIDE ELEVATION | | CHECKED: S.G. | | DRAWN: S.G. | | SHEET NO: 2.06 | |
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SUBJECT SITE
No. 24 Catherine Street Leichhardt
single storey dwelling

PROPOSED NORTHERN SIDE ELEVATION

SEC4.55 PLANS
FOR CONSTRUCTION

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| ISSUE: | A |
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| AMENDMENTS: | |
| | PRE-DA ISSUE |
| | DA ISSUE |
| | SEC 4.55 MODIFICATION |

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| DATE: | 08.05.2018 |
| | 18.06.2018 |
| | 27.07.2019 |

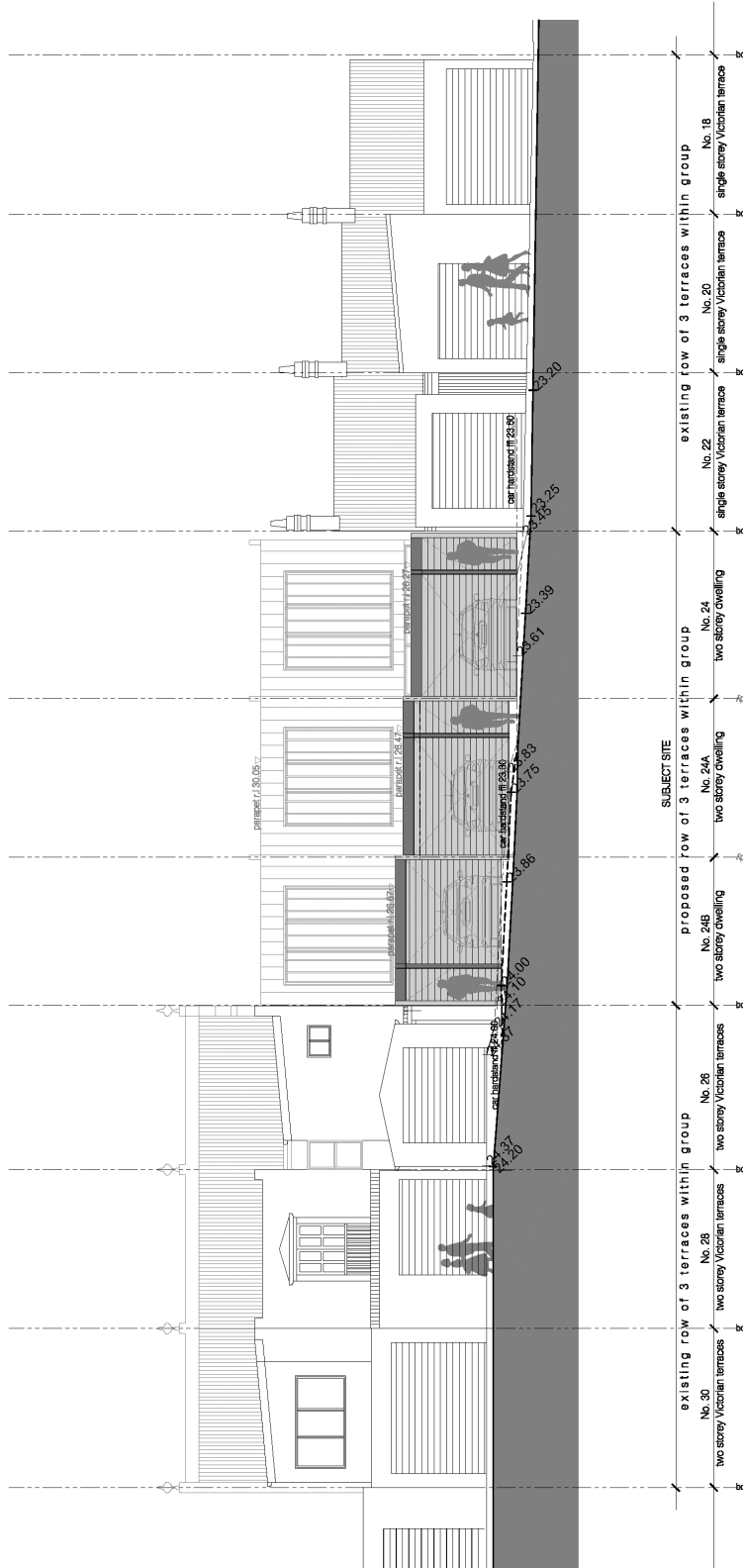
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|----------|---|
| CLIENT: | Development Design Pty Ltd ACN 107 176 867 |
| ADDRESS: | 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au |

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| PROJECT: | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| DRAWING: | PROPOSED NORTHERN SIDE ELEVATION |

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| SCALE: | 1:100 @ A3 |
| DRAWN: | S.G |
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| ISSUE: | C |
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| SHEET No: | 2.07 |
| DO NOT SCALE DRAWING | S.G |

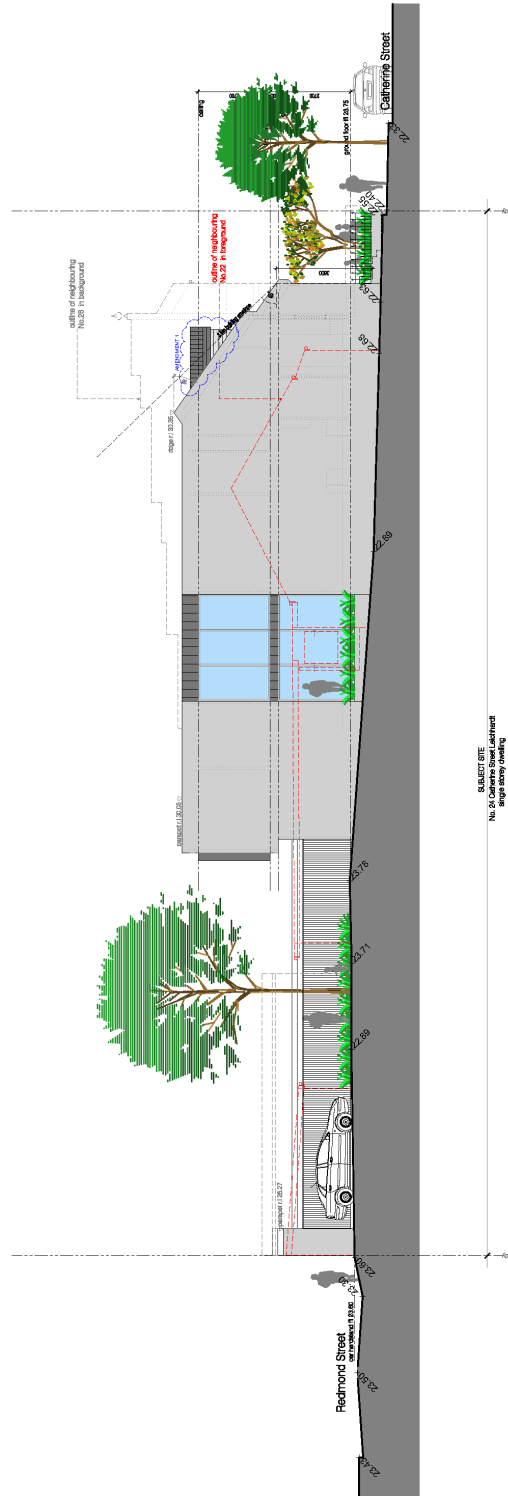
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PROPOSED WESTERN REAR REDMOND STREETSCAPE ELEVATION

| | | | |
|---|--|---|---|
| <p>SEC4 55 PLANS FOR CONSTRUCTION</p> | | <p>PROPOSED WESTERN REAR REDMOND STREETSCAPE ELEVATION</p> | |
| <p>ISSUE: A B C</p> | <p>AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4 55 MODIFICATION</p> | <p>DATE: 08.05.2018 18.06.2018 27.07.2019</p> | <p>CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au</p> |
| <p>PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS</p> | | <p>SCALE: 1:100 @ A3</p> | <p>ISSUE: C</p> |
| <p>DRAWING: PROPOSED WESTERN REAR REDMOND STREETSCAPE ELEVATION</p> | | <p>DRAWN: S.G</p> | <p>DA</p> |
| <p>CHECKED: S.G</p> | | <p>DO NOT SCALE DRAWING</p> | <p>SHEET No: 2.10</p> |

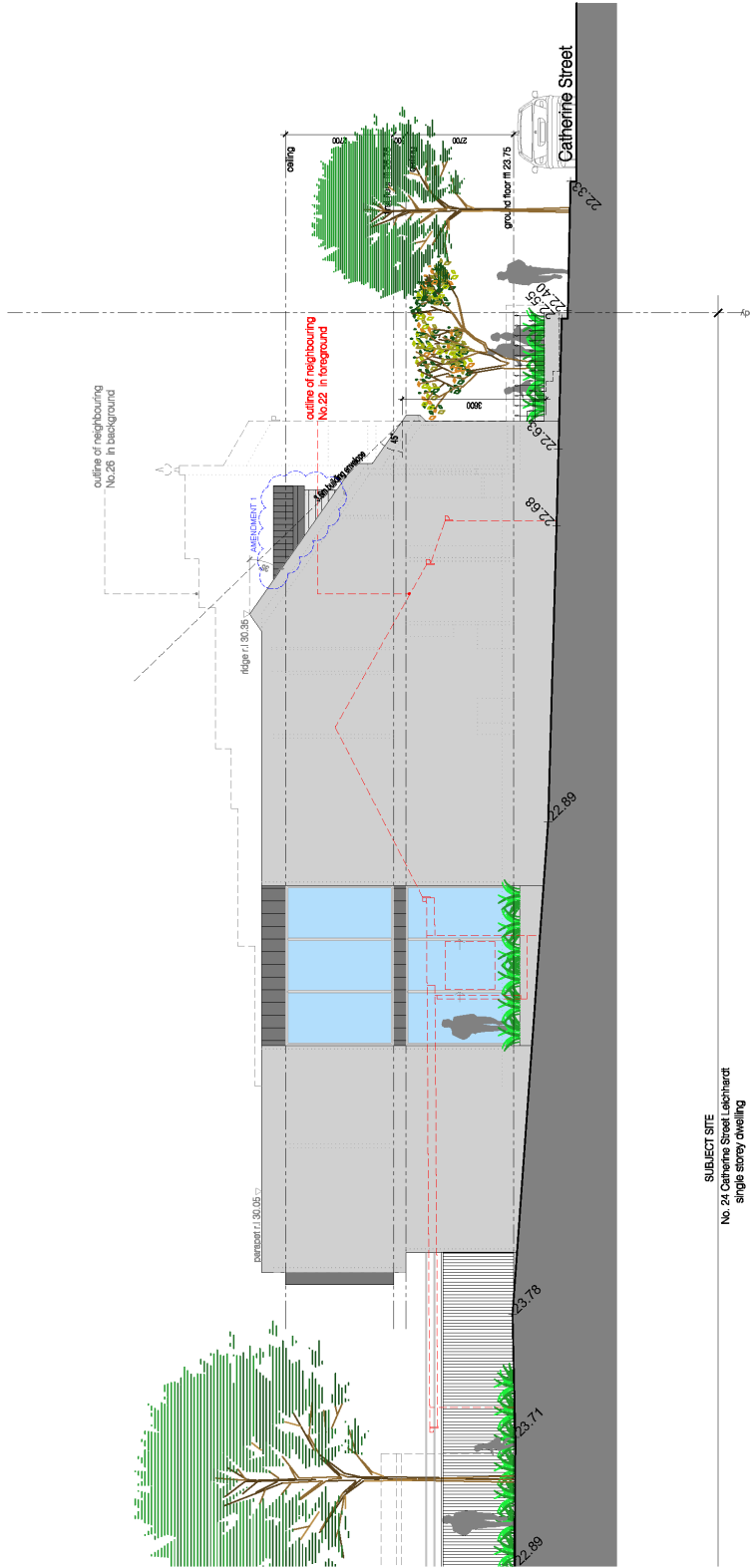
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PROPOSED SOUTHERN SIDE ELEVATION

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|-----------------------------------|--|---|---|---|----------------------|-------------------------|
| SEC4.55 PLANS FOR CONSTRUCTION | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:150 @ A3 | ISSUE: C |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED SOUTHERN SIDE ELEVATION | DRAWN: S.G. | DA |
| | | | | | CHECKED: S.G. | DO NOT SCALE DRAWING |

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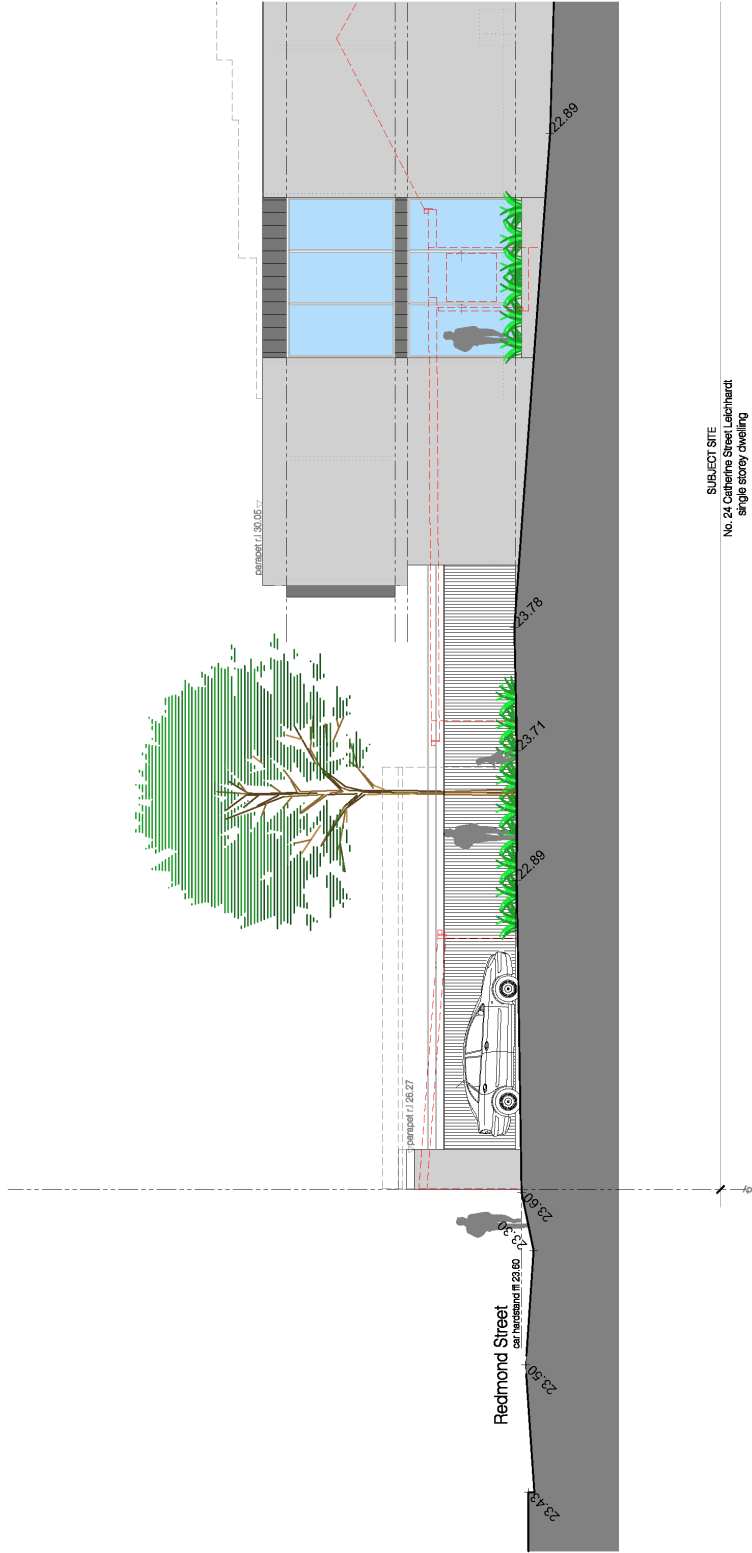


SUBJECT SITE
No. 24 Catherine Street, Leichhardt
single storey dwelling

PROPOSED SOUTHERN SIDE ELEVATION

| SEC4.55 PLANS FOR CONSTRUCTION | | AMENDMENTS: | | DATE: | | CLIENT: | | PROJECT: | | SCALE: | | ISSUE: | |
|--------------------------------|-----------------------|-------------|--|-----------------------------|--------------|------------------------------|--|---|--|----------------------|--|--------|------|
| A | PRE-DA ISSUE | 08.05.2018 | Development Design Pty Ltd | TRADER IN PURPLE 113PTY LTD | 1:100 @ A3 | C | | | | | | | |
| B | DA ISSUE | 18.06.2018 | ACN 107 176 867 | LOT 22, SEC B in DP 119 | DRAWN: S.G | DA | | | | | | | |
| C | SEC 4.55 MODIFICATION | 27.07.2019 | 340a Riley Street Surry Hills NSW 2010 | 24 CATHERINE STREET | CHECKED: S.G | SHEET No: | | | | | | | 2.13 |
| | | | | | | www.developmentdesign.com.au | | DRAWING: PROPOSED SOUTHERN SIDE ELEVATION | | DO NOT SCALE DRAWING | | | |

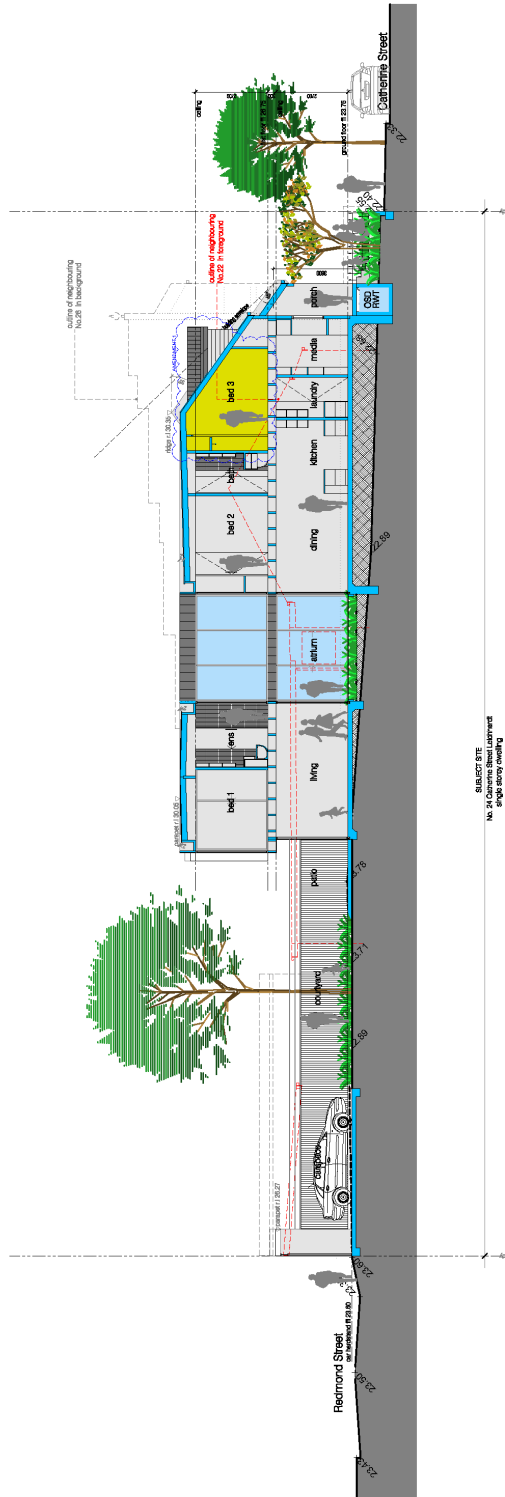
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PROPOSED SOUTHERN SIDE ELEVATION

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| SEC4.55 PLANS FOR CONSTRUCTION | | PROPOSED SOUTHERN SIDE ELEVATION | |
| ISSUE: A B C | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | | SCALE: 1:100 @ A3 | |
| ISSUE: C | | DO NOT SCALE DRAWING | |
| DRAWING: PROPOSED SOUTHERN SIDE ELEVATION | | DRAWN: S.G. | |
| SHEET No.: 2.14 | | CHECKED: S.G. | |

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SUBJECT SITE
No. 24 Catherine Street, Leichhardt
single storey dwelling
TYPICAL SECTION A - A (SOUTHERN LOT)

SECA 4.55 PLANS FOR CONSTRUCTION

| | | |
|--------|-----------------------|------------|
| ISSUE: | AMENDMENTS: | DATE: |
| A | PRE-DA ISSUE | 08.05.2018 |
| B | DA ISSUE | 18.06.2018 |
| C | SEC 4.55 MODIFICATION | 27.07.2019 |

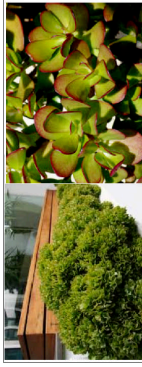
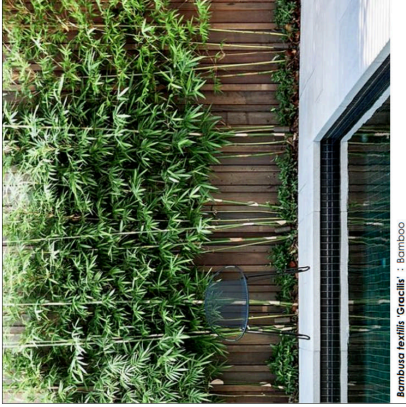
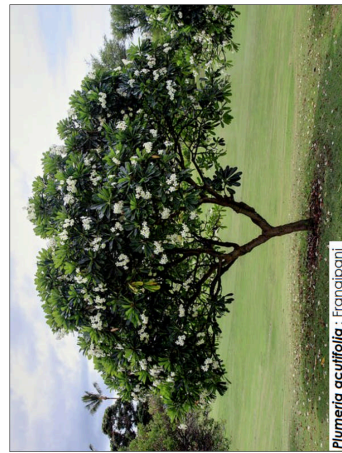
TYPICAL SECTION A-A

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| SCALE: | 1:150 @ A3 | ISSUE: | C |
| DRAWN: | S.G | DO NOT SCALE DRAWING | |
| CHECKED: | S.G | SHEET No.: | 3.01 |

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| PROJECT: | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| CLIENT: | TRADER IN PURPLE 113PTY LTD |
| DRAWING: | TYPICAL SECTION A-A |
| ADDRESS: | LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 |

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SECA 455 PLANS
FOR CONSTRUCTION

| ISSUE | AMENDMENTS | DATE |
|-------|----------------------|------------|
| A | PREDA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.09.2018 |
| C | SEC 455 MODIFICATION | 27.07.2019 |

CLIENT:
Development Design Pty Ltd
ACN 107 176 867

ADDRESS:
340a Riley Street Surry Hills NSW 2010
+61(02) 9211 7900 | info@developmentdesign.com.au
www.developmentdesign.com.au

PROJECT:
PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS

DRAWING:
LANDSCAPE PLAN

SCALE:
1:100 @ A3

DRAWN:
S.G

CHECKED:
S.G

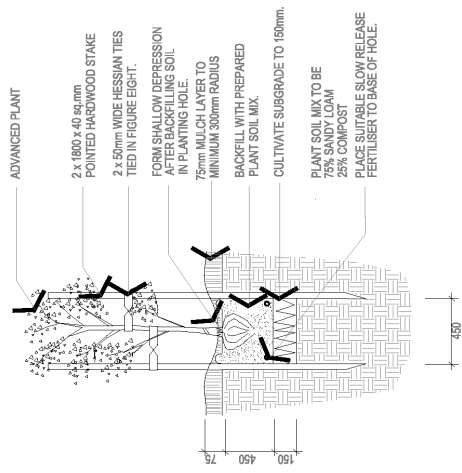
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| | ISSUE: C |
| | SHEET No.: 5.01 |

LANDSCAPE PLAN

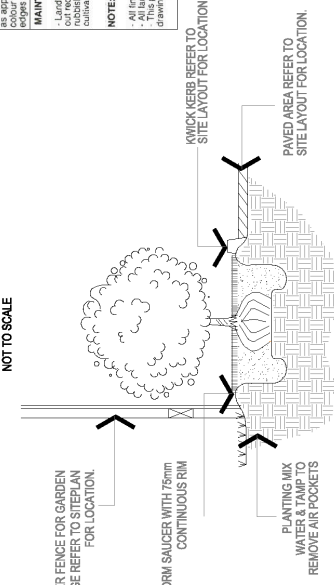
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PLANTING SCHEDULE

| SYMBOL | BOTANIC NAME | COMMON NAME | MAX HEIGHT | POT SIZE | STAKING | NUMBER |
|--------|---|----------------|------------|-----------|---------|--------|
| PA | TREES 4-10m <i>Plumeria acutifolia</i> | Frangipani | 7m | 100lt YES | 6 | |
| CA | <i>Crassula ovata</i> | Jade Plant | 0.6m | 1.5m 5lt | NO 10 | |
| BT | BAMBOOS <i>Bambusa textilis 'Graclis'</i> | Bamboo | 7m | 2.5lt | NO 16 | |
| LO | GROUND COVER <i>Lomandra confertifolia</i> | Little con | 0.6m | 2.5lt | NO 15 | |
| DL | <i>Ophiopogon japonicus</i> | Dwarf Lilyturf | - | 0.5lt | NO 20 | |
| SW | GRASS <i>Sir Walter Buffalo</i> | Turf Grass | - | - | NO - | |



SHRUB PLANTING - IN MASS PLANTED AREAS



ADVANCED TREE PLANTING DETAIL

NOT TO SCALE

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix: Imported planting mix to comprise an approved soil mix of:
 - 10% Mulchroom compost
 - 10% Fine forest soil
 - 10% Fine forest sand
 - 10% Composted manure

Mulch: Mulch shall mean Hot-Bark (15mm grade), free from material derived from Pines, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 20mm grade shall be rejected. Mulch shall be supplied by a reputable supplier as approved by the Council or supplied by Australian Native Landscapes Pty Ltd (Phone (02) 9430 1444, or approved equivalent).

Plant Material: All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and fit for planting.

Tree stakes: All new, untried areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly buffed with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points prior to turfing.

Excavating for Spot Planting: To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Decorative Pebble: All new, untried areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly buffed with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points prior to turfing.

Concrete Edge: Concrete to be off white colour. **INSTALLATION:** Supply and install 100 x 250mm (twenty reinforced flush concrete kerb to locations indicated on drawings. The kerb shall be finished with a smooth, rounded top edge. Kerb shall be finished with a smooth, rounded top edge with 10mm pencil round to prevent chipping.

MAINTENANCE/PLANT ESTABLISHMENT
 - Landscape Contractors to provide 13 weeks for maintenance / plant establishment period. Carry out regular watering, weeding, mulching, pruning, hedge clipping, top dressing, and keeping the site neat and tidy.

NOTE:
 - All finished levels are to be verified by Contractor on site.
 - This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawings where applicable.

SEC4.55 PLANS FOR CONSTRUCTION

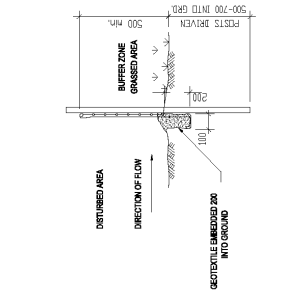
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| ISSUE: | AMENDMENTS: | DATE: |
| A | PRE-DA ISSUE | 08.05.2018 |
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| C | SEC 4.55 MODIFICATION | 27.07.2019 |

LANDSCAPE PLAN

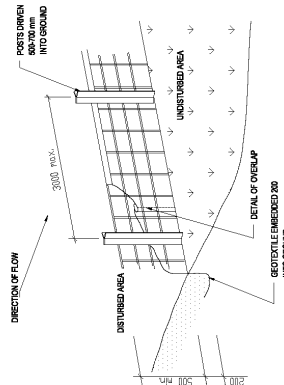
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| PROJECT: | SCALE: | ISSUE: |
| PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | 1:100 @ A3 | C |
| CLIENT: | DRAWN: | DA |
| TRADER IN PURPLE 113PTY LTD | S.G. | |
| ADDRESS: | CHECKED: | SHEET NO.: |
| LOT 22, SEC B in DP 119 | S.G. | 5.01A |
| 24 CATHERINE STREET | | DO NOT SCALE DRAWING |
| LEICHHARDT 2040 | | |

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDSURF, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED; NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.

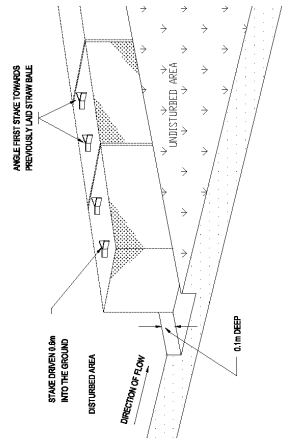
- NOTES:
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE
 2. STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM
 3. TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED
 4. ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE



STRAW BALE SEDIMENT FILTER



GEOTEXTILE EMBROIDERED 200 INTO GROUND



GEOTEXTILE EMBROIDERED 200 INTO GROUND

STRAW BALE SEDIMENT FILTER

GEOTEXTILE EMBROIDERED 200 INTO GROUND

GEOTEXTILE EMBROIDERED 200 INTO GROUND

| USE OF PREMISES | | PROPOSED ON SITE STORAGE AND TREATMENT FACILITIES | DESTINATION |
|-----------------------|--------|--|--|
| WASTE BEING GENERATED | VOLUME | (on site composting, waste storage & recycling) | recycling, contractor landfill destination |
| glass plastic bottles | 15 lt | stored in council model bin awaiting collection. | recycled fortnightly |
| food scraps | 40 lt | designated area for compostion on site. | compost on site |
| green waste | 20 lt | designated area for compostion on site. | compost on site |
| paper cardboard | 30 lt | stored in council model bin awaiting collection. | recycled weekly |
| general waste | 40lt | stored in model council bin awaiting collection | recycled fortnightly |
| other waste | varies | stored on site awaiting for quarterly council street collection. | quarterly collection |

| CONSTRUCTION STAGE | | REUSE & RECYCLING | DISPOSAL |
|-----------------------|---------------------------------|--|--|
| MATERIALS ON-SITE | estimated volume m ³ | on-site contractor landfill destination | contractor landfill destination |
| excavated material | 5 | re used as fill under concrete slabs where appropriate | excess to metal landfill where necessary |
| green waste | 1.0 | mulched for garden | - |
| brick material | 1.5 | cleared and used on site again | excess to Eco Cycle Materials 153-157 Newsum Rd Wentworth Park |
| concrete material | 1.0 | rubble used as fill under slab | excess to Eco Cycle Materials 153-157 Newsum Rd Wentworth Park |
| timber material | 0.1 | white and damaged so used as landfill | excess to Eco Cycle Materials 153-157 Newsum Rd Wentworth Park |
| metal material | 0.1 | metal stripping sent to supplier of material | - |
| carpet material | nil | - | - |
| plasterboard material | 0.2 | - | CSR Packaging Specialty Ltd Newsum Rd |

| DEMOLITION STAGE | | REUSE & RECYCLING | DISPOSAL |
|-----------------------|---------------------------------|--|--|
| MATERIALS ON-SITE | estimated volume m ³ | on-site contractor landfill destination | contractor landfill destination |
| excavated material | 5 | fill spread over site | excess to metal landfill where necessary |
| green waste | 1.0 | mulched for garden | - |
| brick material | 1.5 | cleared and used on site again | excess to Eco Cycle Materials 153-157 Newsum Rd Wentworth Park |
| concrete material | 5 | - | excess to Eco Cycle Materials 153-157 Newsum Rd Wentworth Park |
| timber material | 1.5 | white and damaged so used as landfill | excess to Eco Cycle Materials 153-157 Newsum Rd Wentworth Park |
| metal material | 0.6 | compacted and sent to recycle resources yard | - |
| carpet material | - | - | - |
| plasterboard material | - | - | - |

WASTE MANAGEMENT PLAN

SEC4.55 PLANS FOR CONSTRUCTION

| | | | | | |
|-------------|------------|---|---|----------------------|-----------|
| AMENDMENTS: | DATE: | CLIENT: | PROJECT: | SCALE: | ISSUE: |
| A | 08.05.2018 | Development Design Pty Ltd | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | - | C |
| B | 19.06.2018 | ACN 107 176 867 | TRADER IN PURPLE 113PTY LTD | DRAWN: | DA |
| C | 27.07.2019 | 340a Riley Street Surry Hills NSW 2010 | ADDRESS: | S/G | SHEET No: |
| | | +61(02) 9211 7800 info@developmentdesign.com.au | 24 CATHERINE STREET | CHECKED: | 5.02 |
| | | www.developmentdesign.com.au | LEICHHARDT 2040 | DO NOT SCALE DRAWING | |

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.

SECA 55 PLANS FOR CONSTRUCTION

| | | | | | |
|--------|-----------------------|------------|---|--------------|----------------------|
| ISSUE: | AMENDMENTS: | DATE: | CLIENT: | SCALE: | ISSUE: |
| A | PRE-DA ISSUE | 08.05.2018 | Development Design Pty Ltd | 1:150 @ A3 | C |
| B | DA ISSUE | 19.09.2018 | TRADER IN PURPLE 113PTY LTD | DRAWN: S.G | DA |
| C | SEC 4.55 MODIFICATION | 27.07.2019 | ACN 107 176 867 | CHECKED: S.G | SHEET No: |
| | | | 340a Riley Street Surry Hills NSW 2010 | | 5.03 |
| | | | +61(02) 9211 7800 info@developmentdesign.com.au | | DO NOT SCALE DRAWING |
| | | | www.developmentdesign.com.au | | |

MATERIAL & COLOUR SCHEDULE OF FINISHES

PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS
 DRAWING: MATERIAL & COLOUR SCHEDULE OF FINISHES
 ADDRESS: LOT 22, SEC B in DP 119
 24 CATHERINE STREET
 LEICHHARDT 2040

ALL BUILDINGS WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.

| NUMBER | HEIGHT | WIDTH | TYPE | HEAD HEIGHT | STYLE | LOTA ORIENTATION | LOT19 ORIENTATION | LOT1C ORIENTATION | FRAME & GLASS TYPE |
|--------|--------|-------|----------|-------------|--------------|------------------|-------------------|-------------------|----------------------------|
| PD01 | 2100 | 880 | solid | 2100 | pivot door | east | east | east | refer to basik certificate |
| W02 | 1500 | 850 | clear | 2100 | double hung | east | east | east | refer to basik certificate |
| W03 | 1500 | 850 | clear | 2100 | double hung | east | east | east | refer to basik certificate |
| W04 | 2700 | 2025 | clear /t | 2700 | stack slider | west | west | west | refer to basik certificate |
| SS05 | 2700 | 4000 | clear /t | 2400 | stack slider | south | north | north | refer to basik certificate |
| SS06 | 2700 | 2025 | clear /t | 2400 | stack slider | east | east | east | refer to basik certificate |
| SS07 | 2700 | 3825 | clear /t | 2700 | stack slider | west | west | west | refer to basik certificate |
| W08 | 2700 | 2445 | clear /t | 2700 | stack slider | west | west | west | refer to basik certificate |
| W09 | 2700 | 1375 | obsc /t | 2700 | awning | east | east | east | refer to basik certificate |
| W10 | 2700 | 4000 | clear /t | 2700 | awning | south | south | south | refer to basik certificate |
| W11 | 2700 | 1375 | clear /t | 2700 | awning | west | west | west | refer to basik certificate |
| W12 | 1200 | 850 | clear | 2400 | double hung | east | east | east | refer to basik certificate |
| SL01 | 600 | 600 | clear | - | fixed | - | - | - | refer to basik certificate |
| SL02 | 600 | 600 | clear | - | fixed | - | - | - | refer to basik certificate |

note:
 .obsc /t : denotes obscure toughened glass window
 .clear /t : denotes clear toughened glass window
 .d Hung : denotes double hung

WINDOW SCHEDULE

note:
 . all structural floors & walls and timber roof members to structural engineers details
 . builder must verify all dimensions on site before any work commences.
 . figured dimensions are to be used in preference to scaled off setbacks and areas are approximate & subject to final survey to determine boundary locations prior to any construction works.
 . roof stormwater to street kerb & gutter. (refer future engineers details)
 . plans are not for construction, d a purposes only. Verification of existing roof pitch required prior for construction certificate construction drawings.
 . selected roof tile/metal sheeting profile subject to manufacturers minimum roof pitch requirement.
 . plans to be read in conjunction with councils letter's of consent.
 . plans are not for construction, D A purposes only. Final construction plans will be release at Construction Certificate stage after engineers final consultation.
 . these drawings are to be read in accordance with commitments as stated within the Basik Certificate where applicable.

these drawings are to be read in conjunction with Architectural and other Consultants drawings, specifications and other written instructions. All leading dimensions shall not be scaled. All workmanship & materials shall be in accordance with relevant current A.S Codes, B.C.A, V.B.R's, requirements of local authorities & project drawings & specifications.
 . The drawings are to be read not scaled. All dimensions & levels to be checked by builder on site prior to any work commencing and any submission of quotation. All dimensions & levels are to be verified at site, any discrepancies which may occur shall be referred to the engineer for decision.
 . The Builder shall be responsible for setting out the work to line & level controlling each stage of the work through to final completion. Each section of work shall be carried out in a thorough and tradesman like manner using materials best suited for their respective purposes. Any items of work not specifically mentioned but none the less necessary for satisfactory completion of the project shall be provided by the builder.
 . No responsibility can be accepted for any construction unless work is supervised by Development Design Pty Ltd.

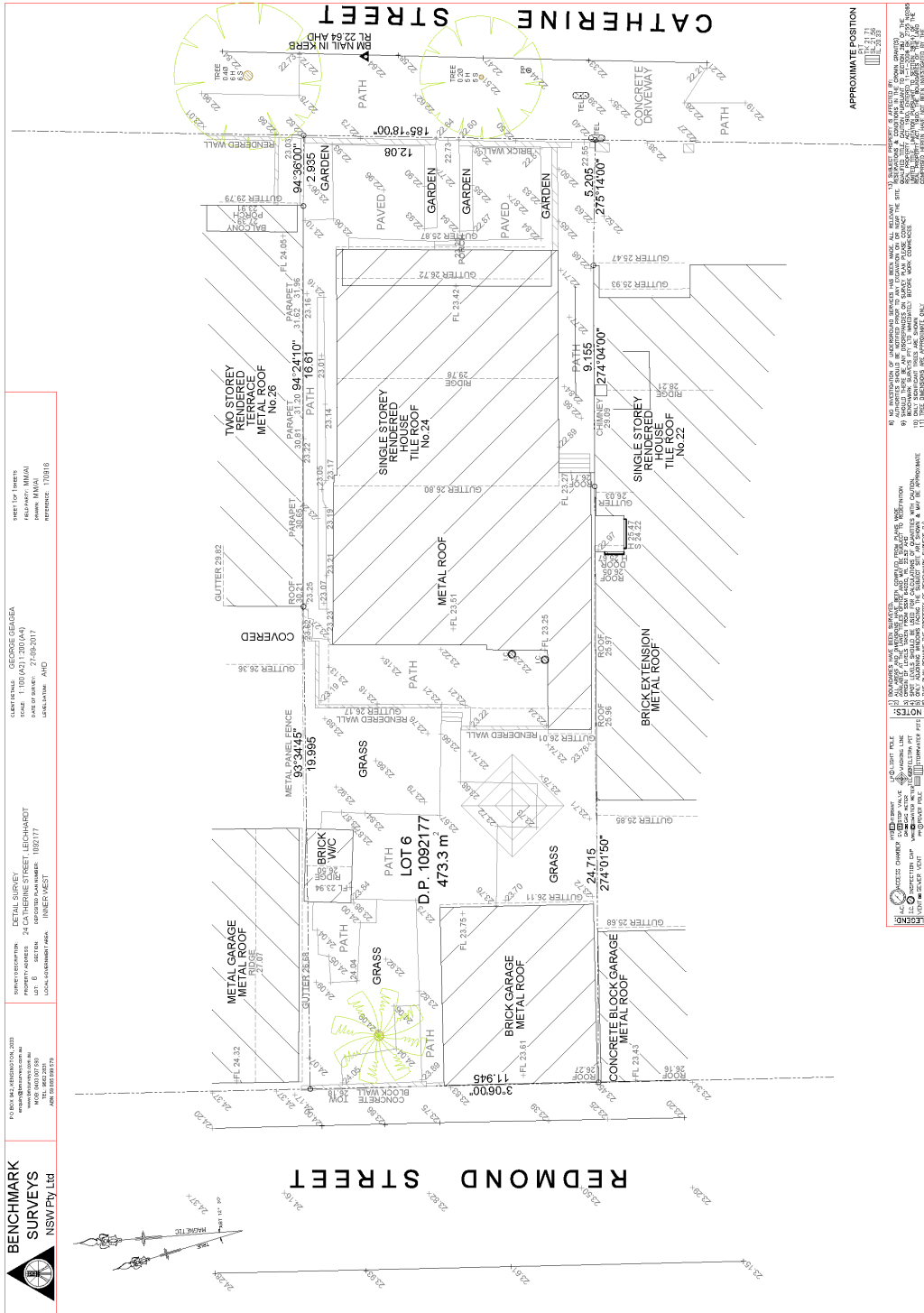
. Unless stated otherwise, the Builder shall:
 (a) Make provisions for all necessary waterproofing and/or drainage to exposed roof and surface areas, including basement retaining walls, to the complete approval of the building surveyor.
 (b) Where necessary provide support to walls adjacent structures built on the boundary and avoid damage to foundations of the same due to excavation beneath footings or ingress of water.
 . any discrepancies between this plan, the specifications & any relevant documentation. Development Design Pty Ltd is to be notified for instruction prior to commencement of that portion of work.
 . all windows and doors shown on the plan are to be of approved manufacture, complete with all necessary fasteners, handles, hinges, glazing, finishing according to the drawings specifications. All aluminium window frames to be supplied with powder coated finish as selected by owner and is to comply with the relevant Australian Standards Glazing materials shall be selected and installed in accordance with the relevant provisions of the Australian Standard. Safety glazing materials is also to conform with the relevant Australian Standards.

GENERAL NOTES

WINDOW SCHEDULE & GENERAL NOTES

| | | | | | |
|---|--|---|---|--|--|
| SECA 55 PLANS FOR CONSTRUCTION ISSUE: A AMENDMENTS: PREDA ISSUE 08.05.2018 DA ISSUE 19.09.2018 SEC 4.55 MODIFICATION 27.07.2019 | DATE: 08.05.2018 19.09.2018 27.07.2019 | CLIENT: Development Design Pty Ltd TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS DRAWING: WINDOW SCHEDULE & GENERAL NOTES CHECKED: S.G. | SCALE: - DRAWN: S.G. CHECKED: S.G. | ISSUE: C DA SHEET No: 5.04 DO NOT SCALE DRAWING |
|---|--|---|---|--|--|

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, LEVELS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.



BENCHMARK SURVEYS
 NSW Pty Ltd
 15 RIVER VALLEY INTERSECTION, 2023
 www.benchmarksurveys.com.au
 TEL: (02) 9550 7892
 FAX: (02) 9550 7893
 AML: 52 035 93179

CLIENT: GEORGE CERASIA
SCALE: 1:100 (A3) 1:200 (A4)
DATE OF SURVEY: 27/09/2017
LOCAL AUTHORITY: AMHD
REFERENCE: 170816

PROPERTY ADDRESS: 24 CATHERINE STREET, LEICHHARDT
LOT 6 SECTION
LOCAL AUTHORITY PLAN NUMBER: 1092177
LOCAL AUTHORITY NAME: INNERWEST

CLIENT CONTACT: MICALA BURGESS
CLIENT ADDRESS: 24 CATHERINE STREET, LEICHHARDT
CLIENT PHONE: 02 9550 7892
CLIENT FAX: 02 9550 7893
CLIENT EMAIL: micala@benchmarksurveys.com.au

- APPROXIMATE POSITION
- 1) THIS SURVEY IS A REPRESENTATION OF THE INFORMATION PROVIDED BY THE CLIENT. THE SURVEYOR HAS CONDUCTED VISUAL CHECKS OF THE INFORMATION PROVIDED AND HAS FOUND IT TO BE REASONABLY ACCURATE. THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL CHECK OF THE INFORMATION PROVIDED AND THEREFORE THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
 - 2) THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL CHECK OF THE INFORMATION PROVIDED AND THEREFORE THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
 - 3) THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL CHECK OF THE INFORMATION PROVIDED AND THEREFORE THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
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 - 16) THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL CHECK OF THE INFORMATION PROVIDED AND THEREFORE THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
 - 17) THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL CHECK OF THE INFORMATION PROVIDED AND THEREFORE THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
 - 18) THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL CHECK OF THE INFORMATION PROVIDED AND THEREFORE THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
 - 19) THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL CHECK OF THE INFORMATION PROVIDED AND THEREFORE THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
 - 20) THE SURVEYOR HAS NOT CONDUCTED A PHYSICAL CHECK OF THE INFORMATION PROVIDED AND THEREFORE THE SURVEYOR DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.

Attachment C- Development Consent Determination No. D/2018/529

**INNER WEST COUNCIL**

Contact: Katerina Lianos
Phone: 9392 5850

31 May 2019

Traders In Purple 113 Pty Ltd
340A Riley St
SURRY HILLS NSW 2010

**NOTICE OF DETERMINATION OF
DEVELOPMENT APPLICATION NO: D/2018/529
Issued under the Environmental Planning & Assessment Act 1979
(Section 4.18)**

| | |
|---------------------------------|--|
| Applicant Name: | Traders In Purple 113 Pty Ltd |
| Applicant Address: | 340A Riley St SURRY HILLS NSW 2010 |
| Land to be Developed: | Lot 6 DP 1092177 24 Catherine Street, LEICHHARDT NSW 2040 |
| Proposed Development: | Demolition of existing structures, 3 lot Torrens title subdivision, construction of 3 x semi detached two storey dwellings on each proposed lot and associated works, including car parking and fencing works plus tree removal. |
| Determination: | Approval |
| Date of Determination: | 28 May 2019 |
| Consent to Operate From: | 28 May 2019 |
| Consent to Lapse On: | 28 May 2024 |

The following conditions have been included in response to development considerations and to ensure a high standard of development having regard to the effect upon the environment.

CONDITIONS OF CONSENT

1. Development must be carried out in accordance with Development Application No. D/2018/529 and the following plans and supplementary documentation, except where amended by the conditions of this consent.

| Plan Reference | Drawn By | Dated |
|--|----------------------------|------------|
| Materials and Colour Schedule of Finishes, Drawing No. 5.03, Rev. B | Development Design Pty Ltd | 19/09/2018 |
| Subdivision Plan, Drawing No. 0.09, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Roof Plan Analysis, Drawing no. 010, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Roof Plan, Drawing No. 1.02, Rev. B | Development Design Pty Ltd | 19/09/2018 |
| Proposed First Floor Analysis, Drawing No. 0.11, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Ground Floor Analysis, Drawing No. 0.12, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed First Floor Analysis, Drawing No. 1.02, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed First Floor Analysis, Drawing No. 1.03, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Eastern Catherine Streetscape Elevation, Drawing No. 2.02, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Eastern Catherine Streetscape Elevation, Drawing No. 2.03, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Northern Side Elevation, Drawing No. 2.05, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Northern Side Elevation, Drawing No. 2.06, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Northern Side Elevation, Drawing No. 2.07, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Western rear Redmond Streetscape Elevation, Drawing No. 2.09, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Western rear Redmond Streetscape Elevation, Drawing No. 2.10, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Southern Side Elevation, Drawing No. 2.12, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Southern Side Elevation, Drawing No. 2.13, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Proposed Southern Side Elevation, Drawing No. 2.14, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Typical Section A-A, Drawing No. 3.01, Rev. B | Development Design Pty Ltd | 19/09/2018 |
| Landscape Plan, Drawing No. 5.01, Rev B | Development Design Pty Ltd | 19/09/2018 |
| Landscape Plan, Drawing No. 5.01A, Rev B | Development Design Pty Ltd | 19/09/2018 |

2 of 26

| Document Title | Prepared By | Dated |
|--|----------------------------|---|
| BASIX Certificate No. 955637S | Development Design Pty Ltd | 9/10/2018 |
| BASIX Certificate No. 955889S | Development Design Pty Ltd | 9/10/2018 |
| BASIX Certificate No. 955893S | Development Design Pty Ltd | 9/10/2018 |
| Acoustic Report | Koikas Acoustics | 25/09/2018 |
| Existing Site Plan and Construction Management Plan, Drawing no. 0.05, Rev. B | Development Design Pty Ltd | 19/09/2018 |
| Sediment, Erosion Control & Waste Management Details, Drawing No. 5.02, Rev. B | | 19/09/2018 |
| Concept Stormwater Plan, Drawing No. 18AA050/DR01, Rev B | EndDepth Engineers | 21/09/2018 |
| Concept Stormwater Plan, Drawing No. 18AA050/DR02, Rev B | EndDepth Engineers | 21/09/2018 |
| Concept Stormwater Details, Drawing No. 18AA050/DR03, Rev B | EndDepth Engineers | 21/09/2018 |
| Statement of Environmental Effects | No Author | No date, Lodged with Council 10/10/2018 |
| Site Survey | Benchmark Surveys | 27/09/2017 |
| Flood Risk Management Report, Rev A | EndDepth Engineers | No date, Lodged with Council 10/10/2018 |
| Flood Response Letter | EndDepth Engineers | 14/09/2018 |
| Clause 4.6 Variation Request - Subdivision | Development Design Pty Ltd | May 2018 |
| Clause 4.6 Variation Request - FSR | Development Design Pty Ltd | March 2018 |

In the event of any inconsistency between the approved plans and the conditions, the conditions will prevail.

Where there is an inconsistency between approved elevations and floor plan, the elevation shall prevail.

In the event of any inconsistency between the approved plans and supplementary documentation, the plans will prevail.

The existing elements (walls, floors etc) shown to be retained on the approved plans shall not be removed, altered or rebuilt without prior consent of the consent authority.

Note: Carrying out of works contrary to the above plans and/ or conditions may invalidate this consent; result in orders, on the spot fines or legal proceedings.

- Consent is granted for the demolition of the following currently existing on the property, subject to strict compliance with the following conditions:

- a) The adjoining residents must be notified seven (7) working days prior to demolition. Such notification is to be clearly written on A4 size paper giving the date demolition will commence, site contact details/person, elements to be demolished and be placed in the letterbox of every premises (including every residential flat or unit, if any) either side, immediately at the rear of and directly opposite the demolition site.
- b) Written notice is to be given to the Principal Certifying Authority for inspection prior to demolition. Such written notice is to include the date when demolition will commence and details of the name, address, business hours and contact telephone number and licence number of the demolisher. The following building inspections must be undertaken by the Principal Certifying Authority:
 - i) A *pre commencement* inspection when all the site works are installed on the site and prior to demolition commencing.
 - ii) A *final* inspection when the demolition works have been completed.

NOTE: If Council is nominated as your Principal Certifying Authority 24 - 48 hours notice to carry out inspections is required. Arrangement for inspections can be made by phoning 9367 9222.

- c) Prior to demolition, the applicant must erect a sign at the front of the property with the demolisher's name, licence number, contact phone number and site address.
- d) Prior to demolition, the applicant must erect a 2.4m high temporary fence, hoarding between the work site and any public property (footpaths, roads, reserves etc). Access to the site must be restricted to authorised persons only and the site must be secured against unauthorised entry when work is not in progress or the site is otherwise unoccupied.
- e) The demolition plans must be submitted to the appropriate Sydney Water Quick Check agent for a building plan approval.
- f) Demolition is to be carried out in accordance with the relevant provisions of Australian Standard 2601:2001: *Demolition of structures*.
- g) The hours of demolition work are limited to between 7:00am and 6:00pm on weekdays. No demolition work is to be carried out on Saturdays, Sundays and public holidays.
- h) Hazardous or intractable wastes arising from the demolition process must be removed and disposed of in accordance with the requirements of WorkCover New South Wales and the Environmental Protection Authority.
- i) Demolition procedures must maximise the reuse and recycling of demolished materials in order to reduce the environmental impacts of waste disposal.
- j) During demolition, public property (footpaths, roads, reserves etc) must be clear at all times and must not be obstructed by any demolished material or vehicles. The footpaths and roads must be swept (not hosed) clean of any material, including clay, soil and sand. On the spot fines may be levied by Council against the demolisher and/or owner for failure to comply with this condition.

- k) All vehicles leaving the site with demolition materials must have their loads covered and vehicles must not track soil and other materials onto public property (footpaths, roads, reserves etc) and the footpaths must be suitably protected against damage when plant and vehicles access the site.
- l) The burning of any demolished material on site is not permitted and offenders will be prosecuted.
- m) Care must be taken during demolition to ensure that existing services on the site (ie, sewer, electricity, gas, phone) are not damaged. Any damage caused to existing services must be repaired by the relevant authority at the applicant's expense. Dial before you dig www.1100.com.au should be contacted prior to works commencing.
- n) Suitable erosion and sediment control measures in accordance with the Soil and Water Management Plan must be erected prior to the commencement of demolition works and must be maintained at all times.
- o) Prior to demolition, a Work Plan must be prepared and submitted to the Principal Certifying Authority in accordance with the relevant provisions of Australian Standard 2601:2001 *Demolition of structures* by a person with suitable expertise and experience. The Work Plan must identify hazardous materials including surfaces coated with lead paint, method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.
- p) If the property was built prior to 1987 an asbestos survey prepared by a qualified occupational hygienist is to be undertaken. If asbestos is present then:
 - i) A WorkCover licensed contractor must undertake removal of all asbestos.
 - ii) During the asbestos removal a sign "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring not less than 400 mm x 300 mm is to be erected in a visible position on the site to the satisfaction of Council.
 - iii) Waste disposal receipts must be provided to Council / Principal Certifying Authority as proof of correct disposal of asbestos laden waste.
 - iv) All removal of asbestos must comply with the requirements of WorkCover and Leichhardt Council.
 - v) An asbestos clearance certificate prepared by a qualified occupation hygienist must be provided at the completion of the demolition works.

PRIOR TO THE RELEASE OF A CONSTRUCTION CERTIFICATE

3. As the site where the property is identified as located within ANEF 20-25 or greater, the development approved under this consent must meet the relevant provisions of Australian Standard AS 2021:2015 Acoustics – Aircraft noise intrusion – Building siting and construction.

An acoustic report prepared by a suitably qualified person and accompanying plans demonstrating compliance are to be submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

4. Any air conditioning unit on the site must be installed and operated at all times so as not to cause "Offensive Noise" as defined by the Protection of the Environment (Operations) Act 1997.

The system/s shall be operated as follows:

- a) Domestic air conditioners must not be audible in nearby dwellings between:
 - i) 10:00pm to 7:00am on Monday to Saturday; and
 - ii) 10:00pm to 8:00am on Sundays and Public Holidays.
- b) At any other time the systems and associated equipment shall not give rise to a sound pressure level at any affected premises that exceeds the background $L_{A90, 15min}$ noise level, measured in the absence of the noise source/s under consideration by 5dB(A).

The source noise level shall be assessed as an $L_{Aeq, 15min}$ and adjusted in accordance with the NSW Environment Protection Authority's Industrial Noise Policy and Environmental Noise Control Manual (sleep disturbance).

Air conditioning units must be installed in accordance with plans referenced in condition 1 or to satisfy provisions of the State Environmental Planning Policy (Exempt & Complying Codes) 2008.

Details demonstrating compliance with the requirements of this condition and the acoustic measures to be employed to achieve compliance with this condition are to be submitted for approval to the Principal Certifying Authority prior to the issue of any Construction Certificate.

5. In accordance with the provisions of the *Environmental Planning and Assessment Act 1979* construction works approved by this consent must not commence until:
 - a) A Construction Certificate has been issued by Council or an Accredited Certifier. Either Council or an Accredited Certifier can act as the "Principal Certifying Authority."
 - b) A Principal Certifying Authority has been appointed and Council has been notified in writing of the appointment.
 - c) At least two days notice, in writing has been given to Council of the intention to commence work.

The documentation required under this condition must show that the proposal complies with all Development Consent conditions and is not inconsistent with the approved plans, the Building Code of Australia and the relevant Australian Standards.

6. In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant must pay a long service levy at the prescribed rate

of 0.35% of the total cost of the work to either the Long Service Payments Corporation or Council for any work costing \$25,000 or more. The Long Service Levy is payable prior to the issue of a Construction Certificate.

Details demonstrating compliance are to be shown on the plans submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.

7. If any excavation extends below the level of the base of the footings of a building on an adjoining property, the person causing the excavation:
 - a) Must preserve and protect the adjoining building from damage
 - b) Must, at least seven (7) days before excavating below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.
 - c) The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this condition, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

In this condition, the allotment of land includes public property.

8. A Certificate prepared by an appropriately qualified and practising structural engineer, certifying the structural adequacy of the property and its ability to withstand the proposed additional, or altered structural loads during all stages of construction must be provided prior to the issue of a Construction Certificate to the satisfaction of the Principal Certifying Authority. The certificate shall also include all details of the methodology to be employed in construction phases to achieve the above requirements without result in demolition of elements marked on the approved plans for retention.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

9. A Soil and Water Management Plan must be provided prior to the issue of a Construction Certificate. The Soil and Water Management plan must be designed to be compatible with the document Planning for Erosion and Sediment Control on Single Residential Allotments or Managing Urban Stormwater—Soils & Construction Volume 1 (2004) available at www.environment.nsw.gov.au and the Construction Management and Traffic Management Plan referred to in condition/s of this Development Consent and must address, but is not limited to the following issues:
 - a) Minimise the area of soils exposed at any one time.
 - b) Conservation of top soil.
 - c) Identify and protect proposed stockpile locations.
 - d) Preserve existing vegetation. Identify revegetation technique and materials.
 - e) Prevent soil, sand, sediments leaving the site in an uncontrolled manner.

- f) Control surface water flows through the site in a manner that:
 - i) Diverts clean run-off around disturbed areas;
 - ii) Minimises slope gradient and flow distance within disturbed areas;
 - iii) Ensures surface run-off occurs at non erodable velocities;
 - iv) Ensures disturbed areas are promptly rehabilitated.
- g) Sediment and erosion control measures in place before work commences.
- h) Materials are not tracked onto the road by vehicles entering or leaving the site.
- i) Details of drainage to protect and drain the site during works.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

10. The approved plans must be checked online with Sydney Water Tap In to determine whether the development will affect Sydney Water's sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. A copy of this approval must be supplied with the Construction Certificate application. Please refer to the web site <http://www.sydneywater.com.au/tapin/index.htm> for details on the process or telephone 132092.

The Certifying Authority must ensure that the appropriate approval has been provided prior to the issue of a Construction Certificate.

11. A detailed Traffic Management Plan to cater for construction traffic shall be submitted to and approved by Council before commencement of works. Details shall include haulage routes, estimated number of vehicle movements, truck parking areas, work zones, crane usage, etc., related to demolition/construction activities
12. Prior to the issue of a Construction Certificate, the applicant must prepare a Construction Management and Plan. The following matters should be addressed in the plan (where applicable):
- a) A plan view of the entire site and frontage roadways indicating:
 - i) Dedicated construction site entrances and exits, controlled by a certified traffic controller, to safely manage pedestrians and construction related vehicles in the frontage roadways.
 - ii) The locations of work zones (where it is not possible for loading/unloading to occur on the site) in the frontage roadways accompanied by supporting documentation that such work zones have been approved by the Local Traffic Committee and Council.
 - iii) Location of any proposed crane and concrete pump and truck standing areas on and off the site.
 - iv) A dedicated unloading and loading point within the site for construction vehicles, plant and deliveries.

- v) The proposed areas within the site to be used for the storage of excavated material, construction materials and waste and recycling containers during the construction period.
- b) Noise and vibration
During excavation, demolition and construction phases, noise & vibration generated from the site must be controlled. Refer to other conditions of this consent. If during excavation, rock is encountered, measures must be taken to minimise vibration, dust generation and impacts on surrounding properties. Refer to Environmental Noise Management Assessing Vibration: a technical Guideline (Department of Environment and Conservation, 2006) www.epa.nsw.gov.au for guidance and further information.
- c) Occupational Health and Safety
All site works must comply with the occupational health and safety requirements of the New South Wales Work Cover Authority.
- d) Toilet Facilities
During excavation, demolition and construction phases, toilet facilities are to be provided on the site, at the rate of one toilet for every twenty (20) persons or part of twenty (20) persons employed at the site. Details must be shown on the plan.
- e) Traffic control plan(s) for the site
All traffic control plans must be in accordance with the Roads and Maritime Services publication "Traffic Control Worksite Manual"

Approval is to be obtained from Council for any temporary road closures or crane use from public property. Applications to Council shall be made a minimum of 4 weeks prior to the activity proposed being undertaken.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

13. A Waste Management Plan (WMP) is to be provided in accordance with **Part D – Waste – Development Control Plan 2013**. The Plan must address all issues identified in the DCP including but not limited to:
 - a) Estimated volume (m³) or weight (t) of materials that are reused, recycled or removed from site.
 - b) On site material storage areas during construction.
 - c) Material and methods used during construction to minimise waste.
 - d) Nomination of end location of all waste and recycling generated from a facility authorised to accept the material type for processing or disposal and retention of waste dockets to be made available to Council Officer on request
 - e) A clear statement within the Waste Management Plan of responsibility for the transferral of waste and recycling bins within the property and between floors where applicable to the collection point in accordance with DCP 2013.

All requirements of the approved Waste Management Plan must be implemented during the demolition, excavation and construction of the development.

14. A contribution pursuant to the provisions of Section 7.11 (formally known as Section 94) of the Environmental Planning and Assessment Act 1979 for the services detailed in column A and for the amount detailed in column B must be made to Council prior to the issue of a Construction Certificate:

| Column A | Column B |
|-------------------------|-------------|
| Open Space Levy | \$44,291.00 |
| Community Services Levy | \$6,769.00 |

Payment will only be accepted in the form of cash, bank cheque or EFTPOS / Credit Card (to a maximum of \$10,000). It should be noted that personal cheques or bank guarantees cannot be accepted for Section 94 Contributions. Contribution Plans may be inspected on Council's website www.innerwest.nsw.gov.au or a copy purchased at the Customer Service counter in Council's Administration Centre, 7-15 Wetherill Street, Leichhardt, during business hours. A receipt demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate

PRIOR TO WORKS COMMENCING OR ISSUE OF A CONSTRUCTION CERTIFICATE (WHICHEVER OCCURS FIRST)

15. Prior to the commencement of demolition works or a Construction Certificate being issued for works approved by this development consent (whichever occurs first), a security deposit and inspection fee must be paid to Council to cover the cost of making good any damage caused to any Council property or the physical environment as a consequence of carrying out the works and as surety for the proper completion of any road, footpath and drainage works required by this consent.

| | |
|-------------------------|-------------|
| Security Deposit (FOOT) | \$15,000.00 |
| Inspection fee (FOOTI) | \$230.65 |

Payment will be accepted in the form of cash, bank cheque, EFTPOS/credit card (to a maximum of \$10,000) or bank guarantee. Bank Guarantees must not have an expiry date.

The inspection fee is required for Council to determine the condition of the adjacent road reserve and footpath prior to and on completion of the works being carried out.

Should any of Council's property and/or the physical environment sustain damage during the course of the demolition or construction works, or if the works put Council's assets or the environment at risk, or if any road, footpath or drainage works required by this consent are not completed satisfactorily, Council may carry out any works necessary to repair the damage, remove the risk or complete the works. Council may utilise part or all of the security deposit to restore any damages, and Council may recover, in any court of competent jurisdiction, any costs to Council for such restorations.

A request for release of the security may be made to the Council after all construction work has been completed and a final Occupation Certificate issued.

The amount nominated is only current for the financial year in which the consent was issued and is revised each financial year. The amount payable must be consistent with Council's Fees and Charges in force at the date of payment.

Requirements of this condition are to be met prior to works commencing or prior to release of a Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

- 16. A dilapidation report including a photographic survey of the following adjoining properties must be provided to Principal Certifying Authority the Council and owners of affected properties prior to any demolition or works commencing on the site or the issue of a Construction Certificate (whichever comes first). The dilapidation report must detail the physical condition of those properties, both internally and externally, including walls, ceilings, roof, structural members and other similar items.

| Property | Structures / Area |
|---------------------------------|---------------------------------------|
| 22 Catherine Street, Leichhardt | Northern wall (internal and external) |
| 26 Catherine Street, Leichhardt | Southern wall (internal and external) |

If excavation works are proposed the dilapidation report must report on the visible and structural condition of neighbouring structures within the zone of influence of the excavations. This zone is defined as the horizontal distance from the edge of the excavation face to twice the excavation depth.

The dilapidation report is to be prepared by a practising Structural Engineer. All costs incurred in achieving compliance with this condition shall be borne by the applicant. A copy of the report must be provided to Council, the Principal Certifying Authority and the owners of the affected properties prior to any works commencing.

In the event that access for undertaking the dilapidation report is denied by an adjoining owner, the applicant must demonstrate, in writing that all reasonable steps have been taken to obtain access and advise the affected property owner of the reason for the survey and that these steps have failed. Written correspondence from the owners of the affected properties or other evidence must be obtained and submitted to the Principal Certifying Authority in such circumstances that demonstrates such documentation has been received. The Principal Certifying Authority must be satisfied that the requirements of this condition have been met prior to commencement of any works.

Note: This documentation is for record keeping purposes and may be used by an applicant or affected property owner to assist in any action required to resolve any civil dispute over damage rising from the works.

Requirements of this condition are to be met prior to works commencing or prior to release of a Construction Certificate (whichever occurs first). Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issue of any Construction Certificate.

- 17. Should works require any of the following on public property (footpaths, roads, reserves),

Where it is proposed to occupy or carry out works on public roads or Council controlled lands, the person acting on this consent shall obtain all applicable Permits from Council in accordance with Section 68 (Approvals) of the Local Government Act 1993 and/or Section 138 of the Roads Act 1993. Permits are required for the following activities:

- a) Work zone (designated parking for construction vehicles). Note that a minimum of 2 months should be allowed for the processing of a Work Zone application.
 - b) A concrete pump across the roadway/footpath
 - c) Mobile crane or any standing plant
 - d) Skip bins
 - e) Scaffolding/Hoardings (fencing on public land)
 - f) Public domain works including vehicle crossing, kerb & guttering, footpath, stormwater, etc.
 - g) Awning or street verandah over footpath
 - h) Partial or full road closure
 - i) Installation or replacement of private stormwater drain, utility service or water supply
18. The person acting on this consent shall submit to the Principal Certifying Authority a dilapidation report including colour photos showing the existing condition of the footpath and roadway adjacent to the site before the issue of a Construction Certificate.
19. The following recommendations in the Flood Risk Management Report prepared by ENDEPTH Engineers must be complied with:
- a) Recommendations
 - All ground floor habitable levels are to be set to the **FPL (23.65m AHD)** minimum;
 - The proposed structural works to be constructed from flood compatible materials;
 - All valuable items are to be stored at the proposed first floor addition.
 - It is recommended that these items to be stored at high levels in case of emergency;Laminated Locality map, laminated emergency phone numbers list, Torch, Radio with spare batteries, Mobile phone, Wet weather clothing, and an emergency kit.
 - b) Evacuation

It is recommended that evacuation procedures shall be carried out pending instructions from authorities i.e. State Emergency Services, Police.

The site evacuation is simple for all storms up to the 100-year storm stay indoors or evacuate to the north of Catherine Street and seek assistance from emergency services.

In the event of a probable maximum flood, early evacuation away from the property is paramount, however if it is too late all occupants shall seek refuge in the first floor and contact emergency services for assistance.
20. A stormwater drainage design, incorporating On-site Stormwater Detention storage and/or On-site Stormwater Retention/re-use facilities (OSD/OSR), prepared by a qualified practicing Civil Engineer must be provided prior to the issue of a Construction Certificate. The design must be prepared/ amended to make provision for the following:

- a) The design shall be generally in accordance with Stormwater drainage plans on drawing no. 18AA050/DR02 prepared by ENDEPTH ENGINEERS.
- b) Comply with Council's Stormwater Drainage Code.
- c) Charged or pump-out stormwater drainage systems are not permitted.
- d) The internal floor areas must be at RL. 23.65m AHD or a minimum 150mm above the adjacent external finished surfaces, whichever is higher.
- e) An overland flow path must be provided through the garages to Redmond Street to protect habitable areas from flooding when blockage of drainage system occurs.
- f) Stormwater runoff from the roof of the garages must be connected to the OSD of the relevant site.
- g) The design must make provision for collection and disposal of stormwater runoff under the decks. As there is no overland flow/flood path available from the area under the decks to the Catherine Street frontage, the design of the sag pit and piped drainage system is to meet the following criteria:
 - i) Capture and convey the 100 year Average Recurrence Interval flow from the contributing catchment assuming 80% blockage of the inlet and 50% blockage of the pipe.
 - ii) The maximum water level over the sag pit shall not be less than 150mm below the floor level or damp course of the building
 - iii) A suitable access must be provided over the grates for cleaning and maintenance purposes. Dimensions must be shown on the plan and long section of the drainage system.
- h) Stormwater Treatment in accordance with Section E1.2.4 (C1). A water quality filtration basket or similar primary treatment device must be installed on the site stormwater drainage system for each lot.
 - i) Plans must specify that any components of the existing system to be retained must be certified during construction to be in good condition and of adequate capacity to convey the additional runoff generated by the development and be replaced or upgraded if required.
 - j) The invert of the outlet pipe in the OSD must be a minimum of 150mm above the invert of the gutter in Catherine Street.
 - k) Setback of the outlet pipes from the street trees and utility services in Catherine Street must comply with the requirements of Council's Tree Coordinator and relevant utility service authority.
 - l) All redundant stormwater pipelines within the footpath area must be removed and the footpath and kerb reinstated.
- m) New pipelines within the footpath area that are to discharge to the kerb and gutter must be hot dipped galvanised steel hollow section with a minimum wall thickness of 4.0mm and a maximum section height and maximum section width of 100mm.

- n) Water quality filtration basket(s) with screening bag or similar primary treatment device(s) shall be installed on the site stormwater drainage system such that all water entering the site stormwater drainage system is filtered by the device(s).
 - o) The existing downpipe outlet for No 26 Catherine Street on Redmond Street clashes with the proposed vehicular crossing for the northern lot and will need to be relocated at the applicant's cost.
 - p) The design must be certified as compliant with the terms of this condition by a suitably qualified Civil Engineer.
 - q) Details demonstrating compliance are to be submitted to the satisfaction of the Certifying Authority prior to the issue of the Construction Certificate.
 - r) All plumbing within the site must be carried out in accordance with Australian Standard *AS/NZS3500.3.2015 Plumbing and Drainage – Stormwater Drainage.*
21. Linen plans and accompanying 88B instrument for the proposed subdivision prepared by a registered surveyor/solicitor shall be submitted to and accepted by Council before the issue of a Construction Certificate or before the issue of the Subdivision Certificate, whichever occurs first.
22. The design of the vehicular access and off street parking facilities must comply with Australian Standard *AS/NZS2890.1-2004 Parking Facilities – Off-Street Car Parking.* Details demonstrating compliance are to be provided prior to the issue of a Construction Certificate. Concern is raised about the following issues:
- a) There is insufficient vehicle manoeuvring area on Redmond Street for entry and exit to the proposed garages via the proposed 3m wide vehicle entries considering the existing on street parking spaces which must be retained.
 - b) The vehicle entries must be widened and a plan of the proposed access and adjacent laneway, drawn at a 1:200 scale, demonstrating that vehicle manoeuvrability for entry and exit to the parking space complies with the *AS/NZS 2890.1:2004.* The plan must include any existing on street parking spaces, vehicle manoeuvring clearances and all garage door fixtures etc.
- Note: Due to the width of the proposed lots the garages may need to be setback from the boundary to achieve vehicular access or alternatively there may not be sufficient width to achieve vehicular access to one or more of the proposed garages.
- The proposed pedestrian door adjacent to the garage door must be removed and access to the garage is to be made available through the garage roller door.
- c) Subject to satisfying the above concerns, The following specific issues must be addressed in the design:
 - a. The garage slab or driveway must rise within the property to be 170mm above the adjacent road gutter level. The longitudinal profile across the width of the vehicle crossing must comply with the Ground Clearance requirements of *AS/NZS 2890.1-2004.*

- b. A minimum of 2200mm headroom must be provided throughout the access and parking facilities. Note that the headroom must be measured at the lowest projection from the ceiling, such as lighting fixtures, and to open garage doors.
- c. Longitudinal sections along both sides of the access and parking shall be provided, demonstrating compliance with the above requirements. The long section shall begin from the centreline of the adjacent road to a minimum of 3 metres into the property and is to be prepared at a scale of 1:20.
- d. The parking space must have minimum clear internal dimensions of 6000mm x 3000mm (length x width). The dimensions must be exclusive of obstructions such as walls, doors and columns, except where they do not encroach inside the design envelope specified in Section 5.2 of AS/NZS 2890.1-2004.

A plan of the proposed access and adjacent road, drawn at a 1:200 scale, demonstrating that vehicle manoeuvrability for entry and exit to the parking space complies with the AS/NZS 2890.1:2004. The plan must include 900mm wing of layback on each side of the crossings at the kerb line in Redmond Street

PRIOR TO THE COMMENCEMENT OF WORKS

23. The proposed structure(s) to be erected must stand wholly within the boundaries of the subject site. No portion of the proposed structure, including gates and doors during opening and closing operations, shall encroach onto adjoining properties or upon public property.

To ensure that the location of the building satisfies the provision of the approval, the footings and walls within one (1) metre of the property boundaries must be set out by or the location certified by a registered surveyor in accordance with the approved plans, prior to the commencement of works.

To ensure that the location of the building satisfies the provision of the approval, a check survey certificate shall be submitted to the Principal Certifying Authority either prior to the pouring of the ground floor slab or at dampcourse level, whichever is applicable or occurs first, indicating the:

- a) location of the building with respect to the boundaries of the site;

24. The site must be secured with temporary fencing prior to any works commencing.

If the work involves the erection or demolition of a building and is likely to cause pedestrian or vehicular traffic on public property to be obstructed or rendered inconvenient, or building involves the enclosure of public property, a hoarding or fence must be erected between the work site and the public property. Additionally an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling onto public property, where necessary.

Separate approval is required under the *Roads Act 1993* to erect a hoarding or temporary fence or awning on public property. Approvals for hoardings, scaffolding on public land must be obtained and clearly displayed on site for the duration of the works.

Any hoarding, fence or awning is to be removed when the work is completed and must be maintained clear of any advertising.

25. The *Home Building Act 1989* requires that insurance must be obtained from an insurance company approved by the Department of Fair Trading prior to the commencement of works approved by this Development Consent.

A copy of the certificate of insurance must be submitted to the Certifying Authority prior to the works commencing.

If the work is to be undertaken by an owner-builder, written notice of their name and owner-builder permit number must be submitted to the Certifying Authority.

In all other cases, written notice must be given to the Certifying Authority of:

- a) the name and licence number of the principal contractor; and
- b) reasons why a certificate of insurance is not required.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Certifying Authority prior to the issue of any Construction Certificate.

26. Any person acting on this consent or any contractors carrying out works on public roads or Council controlled lands shall take out Public Liability Insurance with a minimum cover of twenty (20) million dollars in relation to the occupation of, and approved works within those lands. The Policy is to note, and provide protection for Inner West Council, as an interested party and a copy of the Policy must be submitted to Council prior to commencement of the works. The Policy must be valid for the entire period that the works are being undertaken on public property.
27. Prior to the commencement of works, the Principal Certifying Authority shall be notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
28. At least forty-eight (48) hours prior to the commencement of works, a notice of commencement form (available on Council's web page) and details of the appointed Principal Certifying Authority shall be submitted to Council.
29. Prior to the commencement of works, a sign must be erected in a prominent position on the site (for members of the public to view) on which the proposal is being carried out. The sign must state:
- a) Unauthorised entry to the work site is prohibited.
 - b) The name of the principal contractor (or person in charge of the site) and a telephone number at which that person may be contacted at any time for business purposes and outside working hours.
 - c) The name, address and telephone number of the Principal Certifying Authority for the work.

Any such sign must be maintained while the work is being carried out, but must be removed when the work has been completed.

Photographic evidence demonstrating compliance with the requirements of this condition is to be submitted to the satisfaction of the Principal Certifying Authority and Council for records purposes prior to the commencement of any onsite work.

DURING WORKS

30. Building materials and machinery are to be located wholly on site unless separate consent (Standing Plant Permit) is obtained from Council/ the roads authority. Building work is not to be carried out on the footpath.

Construction materials and vehicles shall not block or impede public use of the footpath or roadway.

31. All excavations and backfilling associated with the development must be executed safely, properly guarded and protected to prevent them from being dangerous to life or property and in accordance with the design of a suitably qualified structural engineer.

If excavation extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must:

- a) Preserve and protect the building from damage.
- b) If necessary, underpin and support the building in an approved manner.
- c) Give at least seven (7) days notice to the adjoining owner before excavating, of the intention to excavate within the proximity of the respective boundary.

Any proposed method of support to any excavation adjacent to adjoining properties or any underpinning is to be designed by a Chartered Civil Engineer, with National Professional Engineering Registration (NPER) in the construction of civil/structural works. Copies of the design plans must be provided to the relevant adjoining property owner/s prior to commencement of such works. Prior to backfilling, any method of support constructed must be inspected by the designing Engineer with certification provided to all relevant parties.

32. The site must be appropriately secured and fenced at all times during works.
33. All fill used with the proposal shall be virgin excavated material (such as clay, gravel, sand, soil and rock) that is not mixed with any other type of waste and which has been excavated from areas of land that are not contaminated with human made chemicals as a result of industrial, commercial, mining or agricultural activities and which do not contain sulphate ores or soils.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority.

34. Unless otherwise approved by Council, excavation, demolition, construction or subdivision work shall only be permitted during the following hours:

- a) 7:00 am to 6.00 pm, Mondays to Fridays, inclusive (with demolition works finishing at 5pm);
- b) 8:00 am to 1:00 pm on Saturdays with no demolition works occurring during this time; and
- c) at no time on Sundays or public holidays.

Works may be undertaken outside these hours where they do not create any nuisance to neighbouring properties in terms of dust, noise, vibration etc and do not entail the use of power tools, hammers etc. This may include but is not limited to painting.

In the case that a standing plant or special permit is obtained from Council for works in association with this development, the works which are the subject of the permit may be carried out outside these hours.

This condition does not apply in the event of a direction from police or other relevant authority for safety reasons, to prevent risk to life or environmental harm.

Activities generating noise levels greater than 75dB(A) such as rock breaking, rock hammering, sheet piling and pile driving shall be limited to:

8:00 am to 12:00 pm, Monday to Saturday; and
2:00 pm to 5:00 pm Monday to Friday.

The Proponent shall not undertake such activities for more than three continuous hours and shall provide a minimum of one 2 hour respite period between any two periods of such works.

“Continuous” means any period during which there is less than an uninterrupted 60 minute respite period between temporarily halting and recommencing any of that intrusively noisy work.

Noise arising from the works must be controlled in accordance with the requirements of the *Protection of the Environment Operations Act 1997* and guidelines contained in the New South Wales Environment Protection Authority Environmental Noise Control Manual.

35. In addition to meeting the specific performance criteria established under this consent, the Applicant shall implement all reasonable and feasible measures to prevent and/or minimise any harm to the environment that may result from the demolition, construction or operation/use of the development.
36. Any new information revealed during development works that has the potential to alter previous conclusions about site contamination or hazardous materials shall be immediately notified to the Council and the Principal Certifying Authority.
37. The development must be inspected at the following stages by the Principal Certifying Authority during construction:
 - a) after excavation for, and prior to the placement of, any footings, and
 - b) prior to pouring any in-situ reinforced concrete building element, and
 - c) prior to covering of the framework for any floor, wall, roof or other building element, and
 - d) prior to covering waterproofing in any wet areas, and
 - e) prior to covering any stormwater drainage connections, and

- f) after the building work has been completed and prior to any occupation certificate being issued in relation to the building.
38. A copy of the approved plans and this consent must be kept on site for the duration of site works and in the case of any commercial or industrial premise for the duration of the use/trading. Copies shall be made available to Council Officer's upon request.
39. Sedimentation controls, tree protection measures and safety fencing (where relevant) shall be maintained during works to ensure they provide adequate protection during the course of demolition, excavation and construction works. Materials must be stored in a location and manner to avoid material being washed to drains or adjoining properties.

The requirements of the Soil and Water Management Plan must be maintained at all times during the works and shall not be removed until the site has been stabilised to the Principal Certifying Authority's satisfaction.

Material from the site is not to be tracked onto the road by vehicles entering or leaving the site. At the end of each working day any dust/dirt or other sediment shall be swept off the road and contained on the site and not washed down any stormwater pit or gutter.

The sediment and erosion control measures are to be inspected daily and defects or system failures are to be repaired as soon as they are detected.

40. No trees on public property (footpaths, roads, reserves etc) are to be removed or damaged during works unless specifically approved in this consent or marked on the approved plans for removal.

Prescribed trees protected by Council's controls on the subject property and/or any vegetation on surrounding properties must not be damaged or removed during works unless specific approval has been provided under this consent.

PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE

41. A second Dilapidation Report including photos of any damage evident at the time of inspection must be submitted after the completion of works. A copy of this Dilapidation Report must be given to the property owners referred to in this Development Consent. The report must:
- Compare the post construction report with the pre-construction report required by these conditions,
 - Clearly identify any recent damage and whether or not it is likely to be associated with the development works including suggested remediation methods.

A copy must be lodged with Council and the Principal Certifying Authority prior to the issue of an Occupation Certificate. Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issuing of any Occupation Certificate.

42. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that the stormwater drainage system has been constructed in accordance with the approved design and relevant Australian Standards.

Works-as-executed plans of the stormwater drainage system, certified by a Registered Surveyor, together with certification by a qualified practicing Civil Engineer to verify that the drainage system has been constructed and OSD/OSR system commissioned in accordance with the approved design and relevant Australian Standards, shall be submitted and accepted by Council prior to the issue of an Occupation Certificate.

The works-as-executed plan(s) must show the as built details in comparison to those shown on the drainage plans approved with the Construction Certificate. All relevant levels and details indicated must be marked in red on a copy of the Principal Certifying Authority stamped Construction Certificate plans

43. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that an Operation and Management Plan has been prepared and implemented for the OSD and/or OSR facilities. The Plan must set out the following at a minimum:
- a) The proposed maintenance regime, specifying that the system is to be regularly inspected and checked by qualified practitioners.
 - b) The proposed method of management of the facility, including procedures, safety protection systems, emergency response plan in the event of blockage, etc.

The plan must be prepared by a suitably qualified professional and provided to the Principal Certifying Authority prior to the issue of an Occupation Certificate

44. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that the vehicle access and off street parking facilities have been constructed in accordance with the approved design and relevant Australian Standards.

Certification by a qualified practicing Civil Engineer that the vehicular access and off street parking facilities have been constructed in accordance the development consent and with relevant Australian Standards must be provided to the Principal Certifying Authority prior to the issue of an Occupation Certificate.

45. An Occupation Certificate must be obtained prior to any use or occupation of the development or part thereof. The Principal Certifying Authority must ensure that all works are completed in accordance with this consent including all conditions.
46. Prior to the issue of an Occupation Certificate, the Principal Certifying Authority must ensure that all works have been completed in accordance with the approved Waste Management Plan referred to in this development consent.

Proof of actual destination of demolition and construction waste shall be provided to the Principal Certifying Authority prior to the issue of an Occupation Certificate.

47. The following works must be constructed:
- a) Light duty concrete vehicle crossing(s) at the vehicular access location(s).
 - b) The redundant vehicular crossing to the site shall be removed and replaced by kerb and gutter and footpath. Where the kerb in the vicinity of the redundant crossing is predominately stone (as determined by Council's Engineer) the replacement kerb shall also be in stone.

- c) The existing concrete footpath across the frontage of the site shall be reconstructed.
- d) The existing damaged or otherwise defective kerb and gutter, footpath and/or road pavement adjacent to the site shall be restored.

All works shall be constructed in accordance with Council's standards and specifications and AUS-SPEC#2-"Roadworks Specifications" before the issue of the Occupation Certificate and at no cost to Council.

Other general requirements that must be considered when designing the vehicular crossing include:

- Within the road reserve, the crossing or driveway must be aligned perpendicular to the alignment of the kerb and gutter or edge of road.

The applicant will be responsible for all costs associated with the construction of the crossing, including adjustment to footpath, kerb and gutter, road pavement, stormwater drainage and service utilities, eg Telstra pits or power poles

- 48. Prior to issue of the Occupation Certificate the person acting on this consent shall obtain from Council a compliance Certificate(s) stating that all Road, Footpath, Vehicle Crossing and Public Domain Works on Council property required to be undertaken as a result of this development have been completed satisfactorily and in accordance with Council approved plans and specifications
- 49. You are advised that Council has not undertaken a search of existing or proposed utility services adjacent to the site in determining this application. It is responsibility of applicant's contractor to verify location of the utility services with the relevant service authority. Any adjustment or augmentation of any public utility services including Gas, Water, Sewer, Electricity, Street lighting and Telecommunications required as a result of the development shall be at no cost to Council and undertaken before the issue of an Occupation Certificate.
- 50. Prior to the issue of an Occupation Certificate, a positive covenant must be created under Section 88E of the *Conveyancing Act 1919*, burdening the owner(s) with the requirement to maintain the on-site stormwater detention facilities on the property.

The terms of the 88E instrument with positive covenant shall include, but not be limited to, the following:

- a) The Proprietor of the property shall be responsible for maintaining and keeping clear all pits, pipelines, trench barriers and other structures associated with the on-site stormwater detention facilities ("OSD").
- b) The Proprietor shall have the OSD inspected annually by a competent person.
- c) The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order all pits, pipelines, trench barriers and other structures in or upon the said land which comprise the OSD or which convey stormwater from the said land; and recover the costs of any such works from the proprietor.

- d) The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from the failure of any component of the OSD, or failure to clean, maintain and repair the OSD.

The proprietor or successor must bear all costs associated in the preparation of the subject 88E instrument. Proof of registration with NSW Land and Property Information must be submitted to and approved by the Principal Certifying Authority prior to the issue of an Occupation Certificate / Subdivision Certificate.

Details demonstrating compliance with the requirements of this condition are to be submitted to the satisfaction of the Principal Certifying Authority prior to the issuing of any Occupation Certificate

51. Alignment levels for the site at all pedestrian and vehicular access locations shall match the existing back of footpath levels at the boundary. For vehicular access off rear laneways the level at the boundary shall match the invert level of the adjacent gutter plus 110mm at both sides of the vehicle entry
52. Encroachments onto Council's road or footpath of any service pipes, sewer vents, boundary traps, downpipes, gutters, stairs, doors, gates, garage tilt up panel doors or any structure whatsoever shall not be permitted. Any encroachments on to Council road or footpath resulting from the building works will be required to be removed before the issue of the Occupation Certificate
53. The vehicular crossing and/or footpath works are required to be constructed by your own contractor. You or your contractor must complete an application for 'Application for Construction of Vehicle Crossing and Public Domain Works – Step 2' form, lodge a bond for the works, pay the appropriate fees and provide evidence of adequate public liability insurance, before commencement of works
54. Prior to the release of an Occupation Certificate, the Principal Certifying Authority must be satisfied that the development complies with:
- the approved plans;
 - BASIX certificate (where relevant),
 - approved documentation (as referenced in this consent); and
 - conditions of this consent.

ONGOING CONDITIONS OF CONSENT

55. The owner/manager of the site is responsible for the removal of all graffiti from the building and fences within seventy-two (72) hours of its application.
56. The Operation and Management Plan for the On-site Stormwater Detention and/or On-site Stormwater Retention/re-use facilities, approved with the Occupation Certificate, must be implemented and kept in a suitable location on site at all times
57. Any lighting of the premises shall be installed and maintained in accordance with Australian Standard AS 4282-1997: *Control of the Obtrusive Effects of Outdoor Lighting* so as to avoid annoyance to the occupants of adjoining premises or glare to motorists on nearby roads. The intensity, colour or hours of illumination of the lights shall be varied at Council's discretion if in the opinion of an Authorised Council Officer it is considered there to be have adverse effects on the amenity of the area.

58. The premises shall not be used for any purpose other than that stated in the Development Application, i.e. dwelling house without the prior consent of the Council unless the change to another use is permitted as exempt or complying development under *Leichhardt Local Environment Plan 2013* or *State Environmental Planning policy (Exempt and Complying Codes) 2008*.

The use of the premises as a dwelling house, is defined under the *Leichhardt Local Environmental Plan 2013*.

PRIOR TO THE ISSUE OF A SUBDIVISION CERTIFICATE

59. The Prior to the issue of a Subdivision Certificate, the applicant shall submit an original plan of subdivision plus three (3) copies for Council's endorsement and administration sheet. The following details shall also be submitted:
- a) Evidence that all conditions of Development Consent D/2018/636 have been satisfied.
 - b) Evidence of payment of all relevant fees and contributions.
 - c) The 88B instrument plus six (6) copies.
 - d) A copy of the final Occupation Certificate issued for the development.
 - e) All surveyor's or engineer's certification required by the Development Consent.
 - f) A copy of the Section 73 Compliance Certificate issued by Sydney Water.

PRESCRIBED CONDITIONS

A. BASIX Commitments

Under clause 97A of the Environmental Planning & Assessment Regulation 2000, it is a condition of this development consent that all the commitments listed in each relevant BASIX Certificate for the development are fulfilled. The Certifying Authority must ensure that the building plans and specifications submitted by the Applicant, referenced on and accompanying the issued Construction Certificate, fully satisfy the requirements of this condition.

In this condition:

- a) Relevant BASIX Certificate means:
 - (i) a BASIX Certificate that was applicable to the development when this development consent was granted (or, if the development consent is modified under section 96 of the Act, a BASIX Certificate that is applicable to the development when this development consent is modified); or
 - (ii) if a replacement BASIX Certificate accompanies any subsequent application for a construction certificate, the replacement BASIX Certificate; and
- b) BASIX Certificate has the meaning given to that term in the Environmental Planning & Assessment Regulation 2000.

B. Building Code of Australia

All building work must be carried out in accordance with the provisions of the Building Code of Australia.

C. Home Building Act

- 1) Building work that involves residential building work (within the meaning and exemptions provided in the Home Building Act 1989) must not be carried out unless the Principal Certifying Authority for the development to which the work relates has given Leichhardt Council written notice of the following:

- a) in the case of work for which a principal contractor is required to be appointed:
 - i) the name and licence number of the principal contractor, and
 - ii) the name of the insurer by which the work is insured under Part 6 of that Act, or
 - b) in the case of work to be done by an owner-builder:
 - i) the name of the owner-builder, and
 - ii) if the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.
- 2) If arrangements for doing residential building work are changed while the work is in progress so that the information submitted to Council is out of date, further work must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council), has given the Council written notice of the updated information.

Note: A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 that states that a person is the holder of an insurance policy issued for the purposes of that Part is, for the purposes of this clause, sufficient evidence that the person has complied with the requirements of that Part.

D. Site Sign

- 1) A sign must be erected in a prominent position on any work site on which work involved in the erection or demolition of a building is being carried out:
 - a) stating that unauthorised entry to the work site is prohibited;
 - b) showing the name of the principal contractor (or person in charge of the work site), and a telephone number at which that person may be contacted at any time for business purposes and outside working hours; and
 - c) showing the name, address and telephone number of the Principal Certifying Authority for the work.
- 2) Any such sign must be maintained while the building work or demolition work is being carried out, but must be removed when the work has been completed.

E. Condition relating to shoring and adequacy of adjoining property

- (1) For the purposes of section 4.17(11) of the Act, it is a prescribed condition of development consent that if the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:
 - (a) protect and support the adjoining premises from possible damage from the excavation, and
 - (b) where necessary, underpin the adjoining premises to prevent any such damage.
- (2) The condition referred to in subclause (1) does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

NOTES

1. This Determination Notice operates or becomes effective from the endorsed date of consent.
2. Section 8.2 of the *Environmental Planning and Assessment Act 1979* provides for an applicant to request Council to review its determination. This does not apply to applications made on behalf of the Crown, designated development or a complying development certificate. The request for review must be made within six (6) months of the date of determination or prior to

an appeal being heard by the Land and Environment Court. Furthermore, Council has no power to determine a review after the expiration of these periods. A decision on a review may not be further reviewed under Section 8.2.

3. If you are unsatisfied with this determination, Section 8.7 of the *Environmental Planning and Assessment Act 1979* gives you the right of appeal to the Land and Environment Court within six (6) months of the determination date.
4. Failure to comply with the relevant provisions of the *Environmental Planning and Assessment Act 1979* and/or the conditions of this consent may result in the serving of penalty notices or legal action.
5. Works or activities other than those approved by this Development Consent will require the submission of a new development application or an application to modify the consent under Section 4.55 of the *Environmental Planning and Assessment Act 1979*.
6. This decision does not ensure compliance with the *Disability Discrimination Act 1992*. Applicants should investigate their potential for liability under that Act.
7. This development consent does not remove the need to obtain any other statutory consent or approval necessary under any other Act, such as (if necessary):
 - a) Application for any activity under that Act, including any erection of a hoarding.
 - b) Application for a Construction Certificate under the *Environmental Planning and Assessment Act 1979*.
 - c) Application for an Occupation Certificate under the *Environmental Planning and Assessment Act 1979*.
 - d) Application for a Subdivision Certificate under the *Environmental Planning and Assessment Act 1979* if land (including stratum) subdivision of the development site is proposed.
 - e) Application for Strata Title Subdivision if strata title subdivision of the development is proposed.
 - f) Development Application for demolition if demolition is not approved by this consent.
 - g) Development Application for subdivision if consent for subdivision is not granted by this consent.
 - h) An application under the Roads Act 1993 for any footpath / public road occupation. A lease fee is payable for all occupations.
8. Prior to the issue of the Construction Certificate, the applicant must make contact with all relevant utility providers (such as Sydney Water, Energy Australia etc) whose services will be impacted upon by the development. A written copy of the requirements of each provider, as determined necessary by the Certifying Authority, must be obtained.

Have you made a political donation?

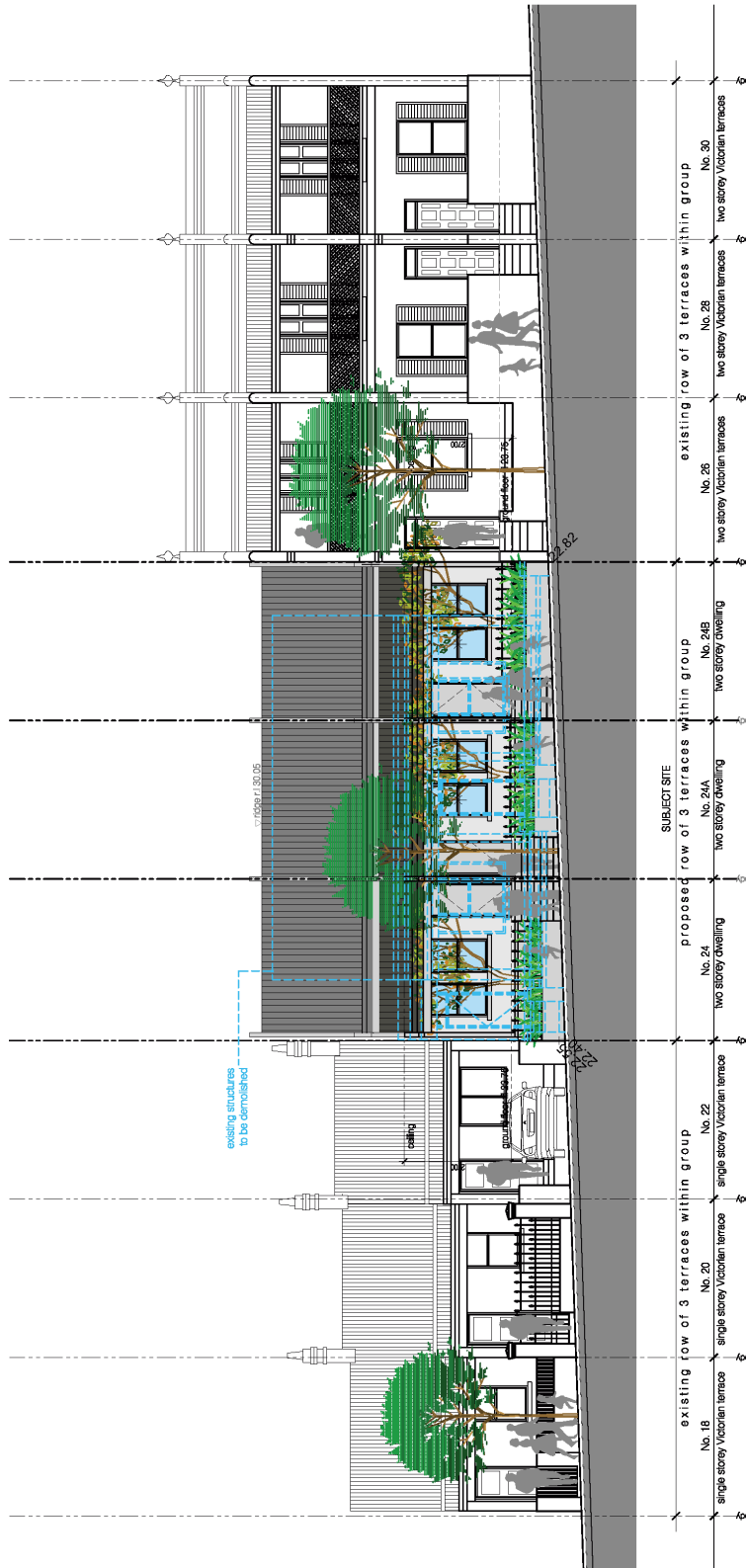
If you (or an associate) have made a political donation or given a gift to a Councillor, political party or candidate at the local government elections during the last two (2) years you may need to include with your application a full disclosure of this matter. For information go to Council's website at <https://www.innerwest.nsw.gov.au/about/reports-and-registers/political-donations>. If you have made a reportable donation, failure to provide a completed declaration with your application is an offence under the Environmental Planning and Assessment Act, 1979 for which you may be prosecuted.

Yours faithfully



Luke Murtas
Manager Development Assessment

Attachment D – Approved Plans Determination No. D/2018/529



PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION

INNER WEST COUNCIL
DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529

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| DA PLANS FOR CONSTRUCTION | | PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION | |
| ISSUE: A B | AMENDMENTS: PRE-DA ISSUE DA ISSUE | DATE: 08.05.2018 19.09.2018 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS 1:100 @ A3 |
| CLIENT: TRADER IN PURPLE 113PTY LTD | | DRAWING: PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION | |
| ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | | CHECKED: S.G | |
| DEVELOPMENT DESIGN PTY LTD 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | | ISSUE: B DA SHEET NO: 2.02 DO NOT SCALE DRAWING | |

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INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529



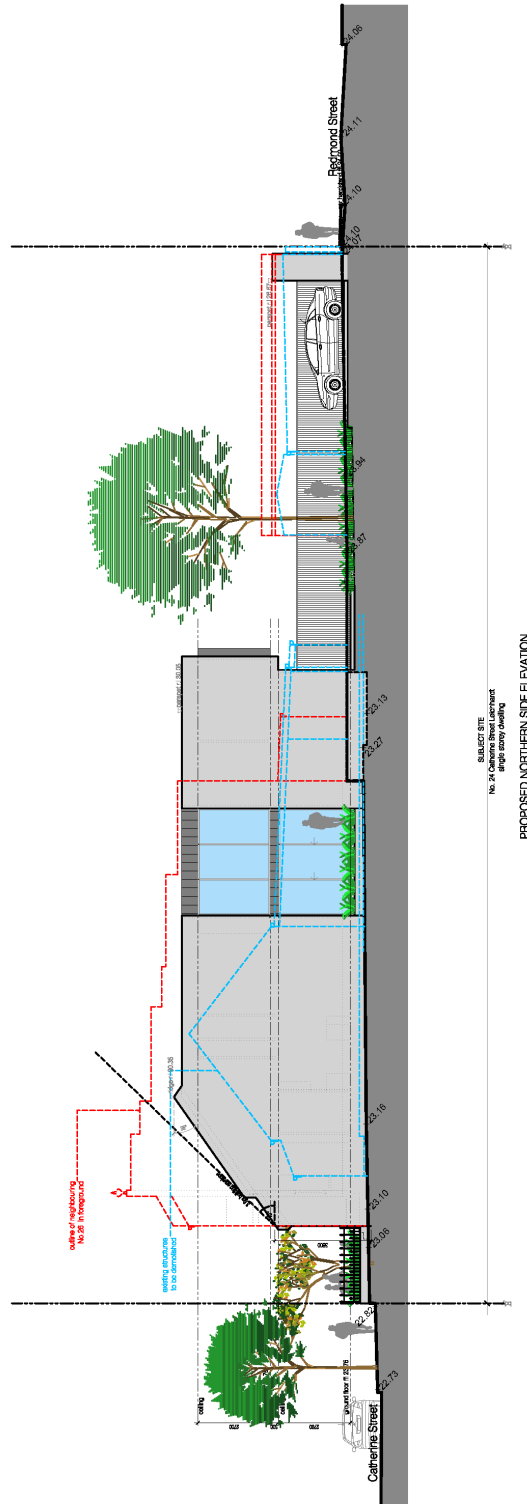
PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION

DA PLANS
 FOR CONSTRUCTION

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| | | | | | DRAWN: S.G | DA |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION | CHECKED: S.G | SHEET No: 2.03 |

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INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529



8/11/17 BY
 No. 24 Catherine Street
 Single story dwelling

PROPOSED NORTHERN SIDE ELEVATION

CC PLANS
 FOR CONSTRUCTION

AMENDMENTS:
 PRE-DA ISSUE
 DA ISSUE

DATE:
 08.05.2018
 19.06.2018

CLIENT:
 Development Design Pty Ltd
 ACN: 107 176 867
 340a Riley Street Surry Hills NSW 2010
 +61(02) 9211 7600 | info@developmentdesign.com.au
 www.developmentdesign.com.au

PROJECT:
 PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS
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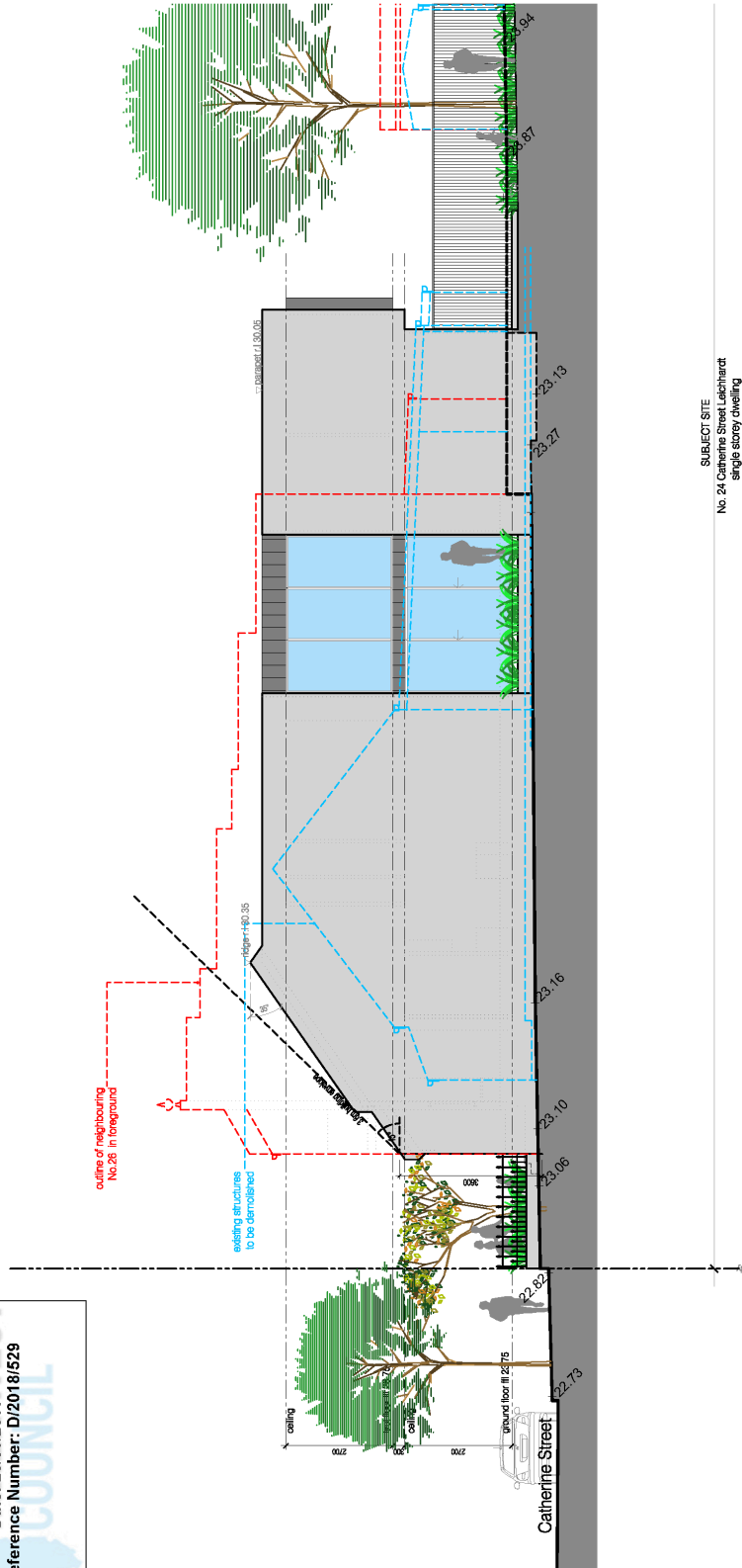
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PROPOSED NORTHERN SIDE ELEVATION

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INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529



SUBJECT SITE
 No. 24 Catherine Street, Leichhardt
 single storey dwelling

PROPOSED NORTHERN SIDE ELEVATION

CC PLANS
 FOR CONSTRUCTION

ISSUE: A
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 AMENDMENTS:
 PRE-DA ISSUE
 DA ISSUE

DATE:
 08.05.2018
 19.06.2018

CLIENT:
 Development Design Pty Ltd
 ACN: 107 176 867
 340a Riley Street Surry Hills NSW 2010
 +61(02) 9211 7600 | info@developmentdesign.com.au
 www.developmentdesign.com.au

ADDRESS:
 LOT 22, SEC B in DP 119
 24 CATHERINE STREET
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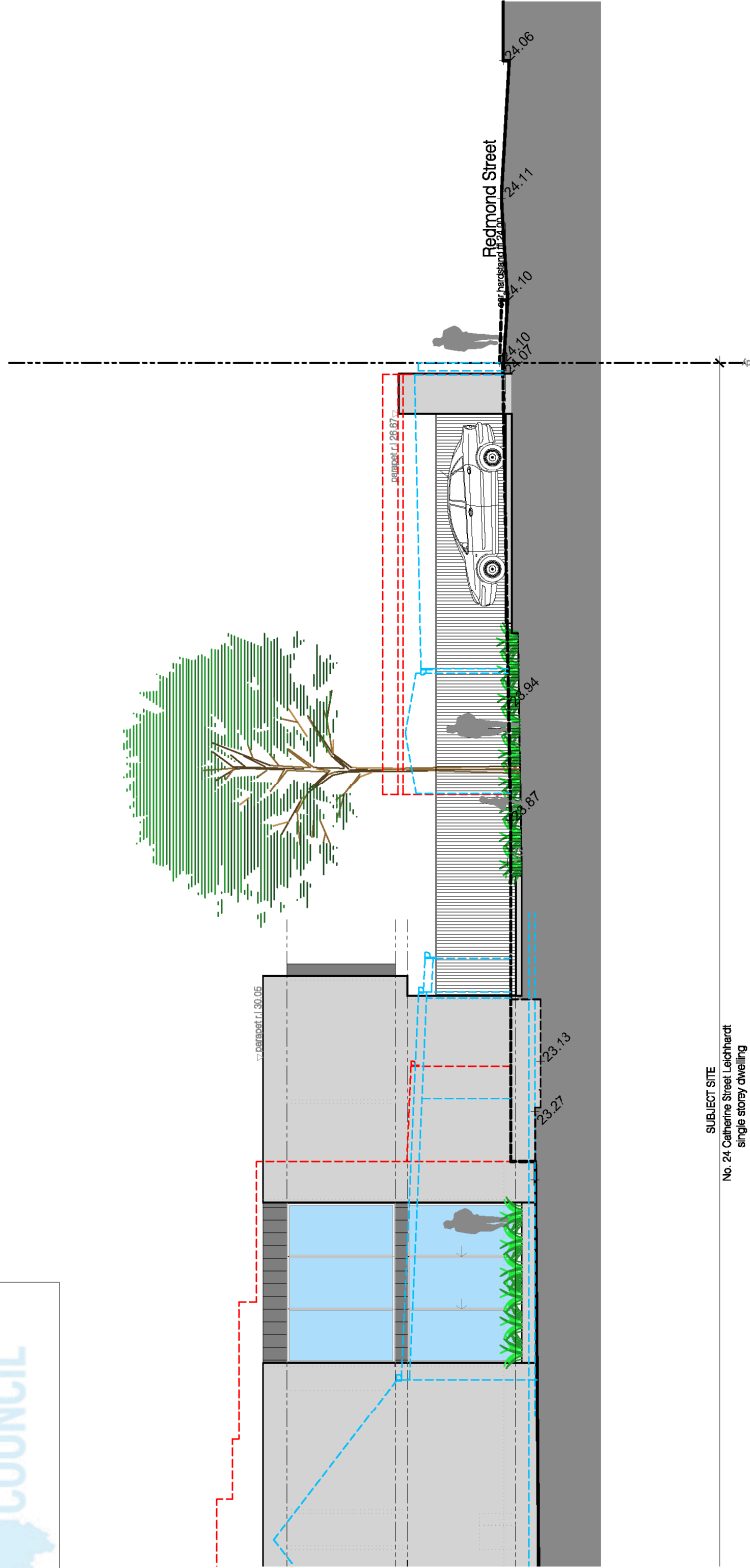
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INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529



SUBJECT SITE
 No. 24 Catherine Street, Leichhardt
 single storey dwelling

PROPOSED NORTHERN SIDE ELEVATION

CC PLANS
 FOR CONSTRUCTION

ISSUE: A
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 AMENDMENTS:
 PRE-DA ISSUE
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DATE:
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CLIENT:
 Development Design Pty Ltd
 ACN: 107 176 867
 340a Riley Street Surry Hills NSW 2010
 +61(02) 9211 7600 | info@developmentdesign.com.au
 www.developmentdesign.com.au

PROJECT:
 PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS

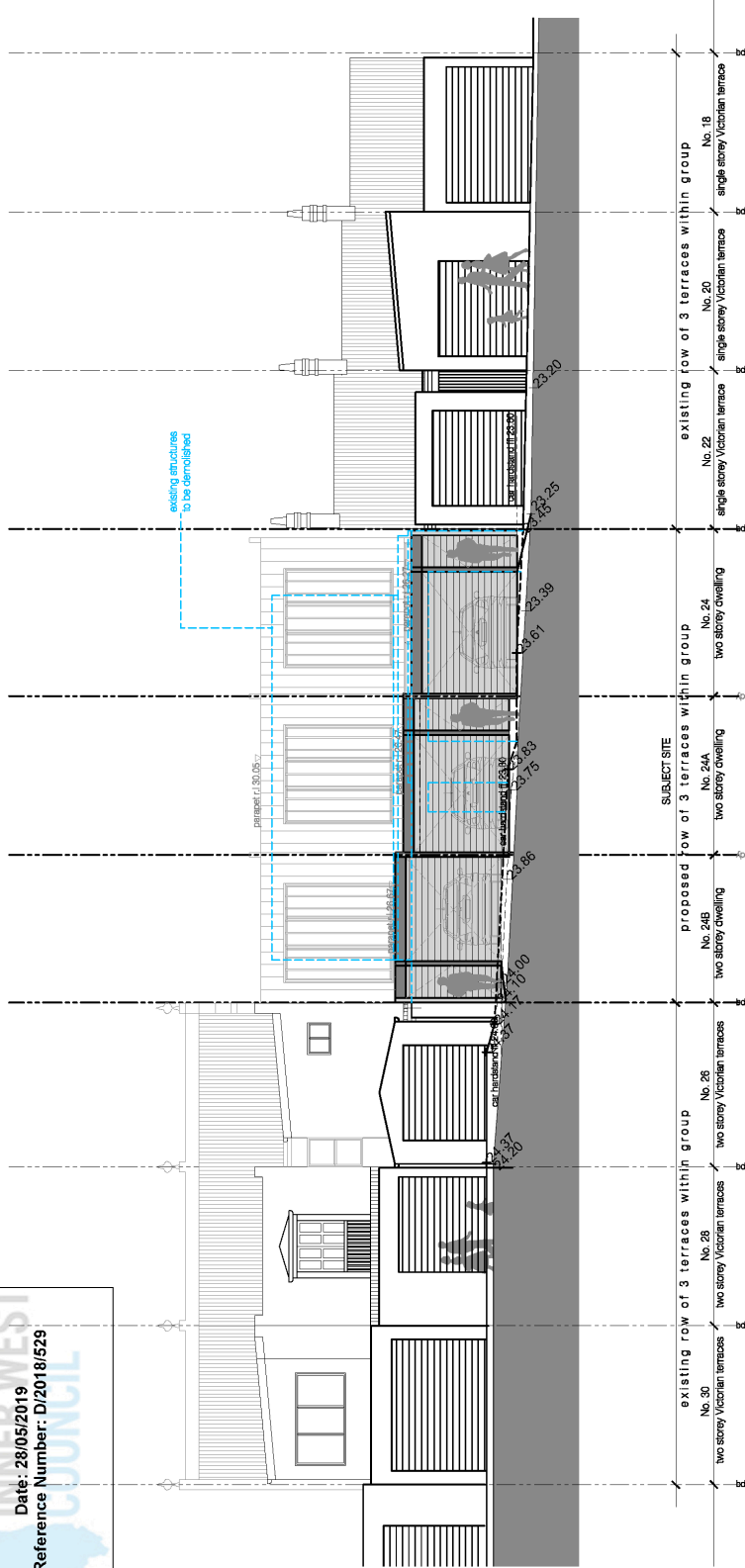
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INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529

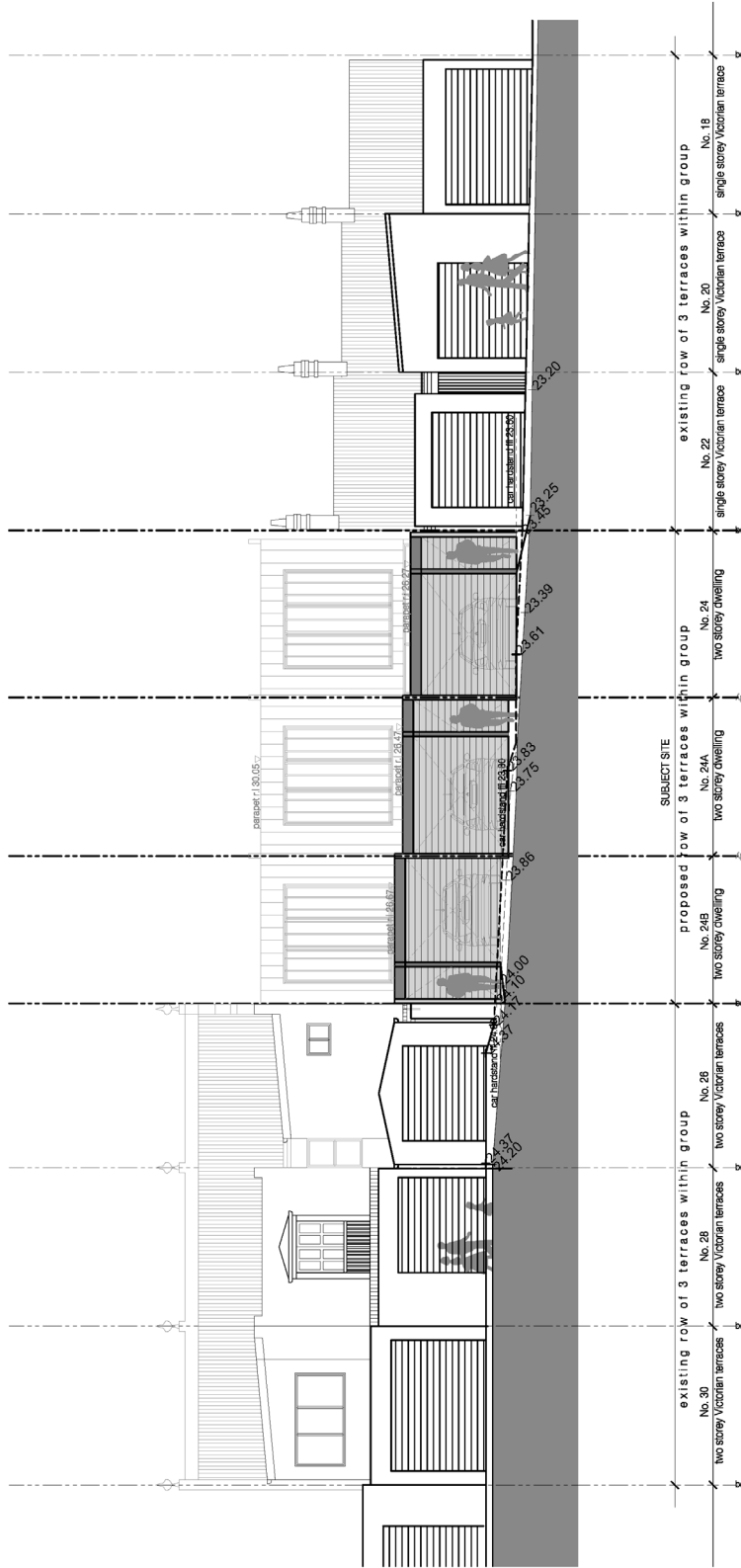


PROPOSED WESTERN REAR REDMOND STREETSCAPE ELEVATION

DA PLANS
 LOCAL CONSTRUCTION

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| | | | ADDRESS: 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | DRAWING: PROPOSED WESTERN REAR REDMOND STREETSCAPE ELEVATION | DRAWN: S.G | DA |
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PROPOSED WESTERN REAR REDMOND STREETSCAPE ELEVATION

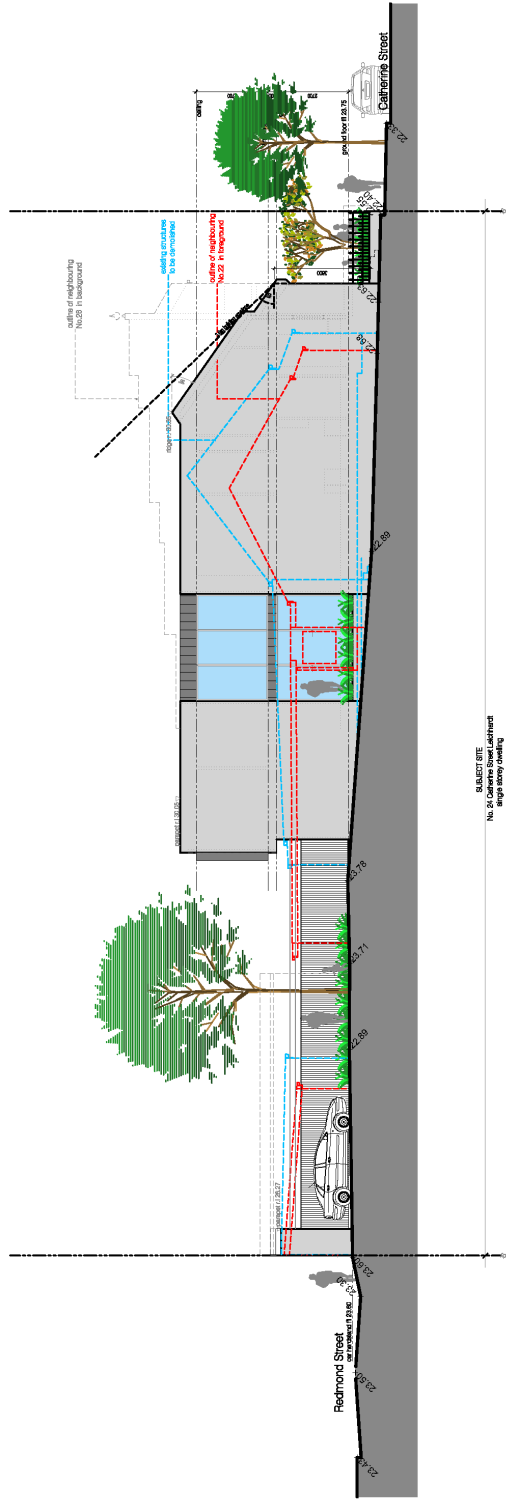
INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529

DA PLANS FOR CONSTRUCTION

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| | | | 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED WESTERN REAR REDMOND STREETSCAPE ELEVATION | DRAWN: S.G | DA |
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INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529



SUBJECT SITE
 No. 340a Riley Street
 Surry Hills NSW
 PROPOSED SOUTHERN SIDE ELEVATION

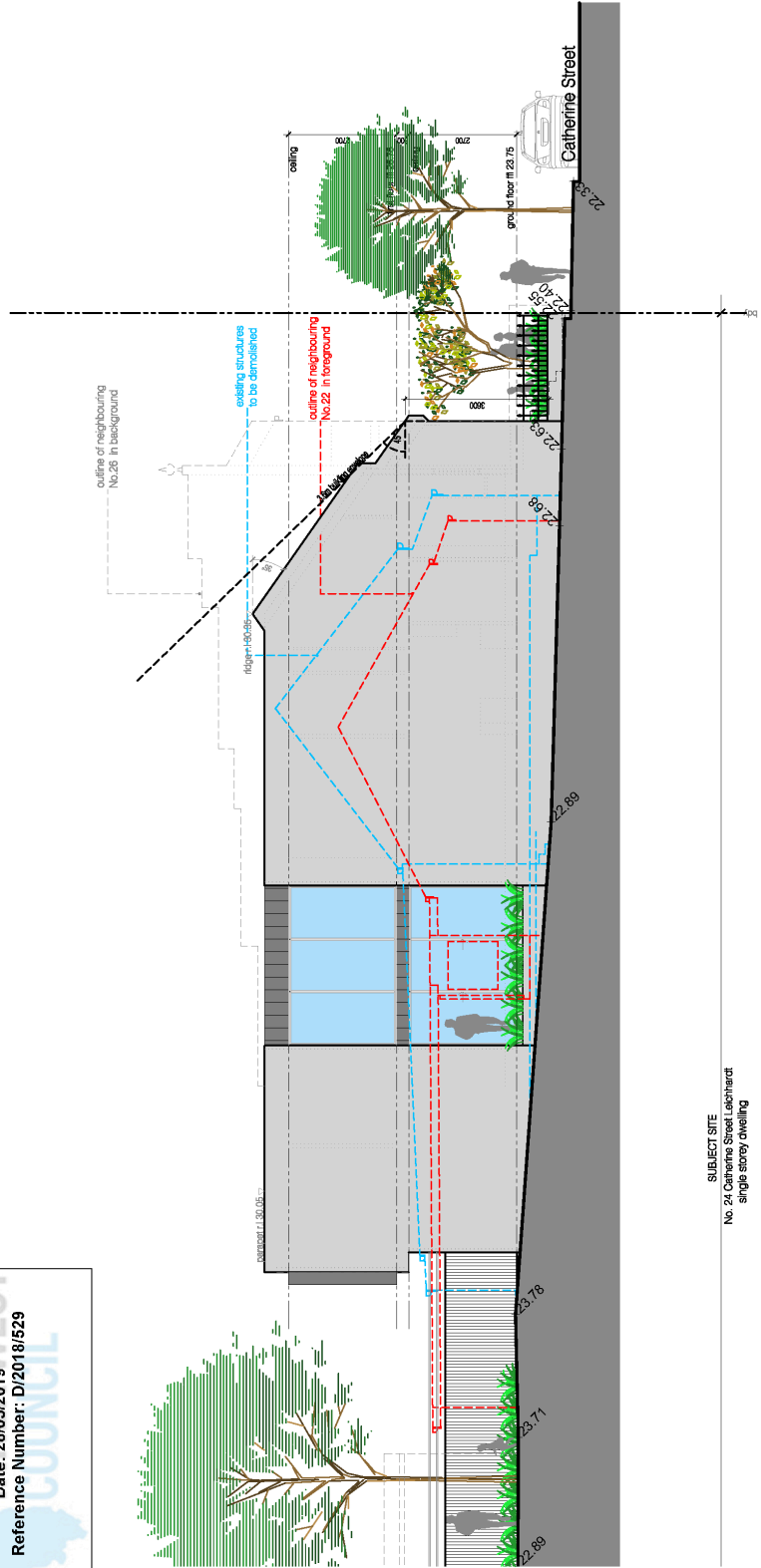
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PROPOSED SOUTHERN SIDE ELEVATION

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPMENT DESIGN PTY LTD.

INNER WEST COUNCIL
 DEVELOPMENT CONSENT
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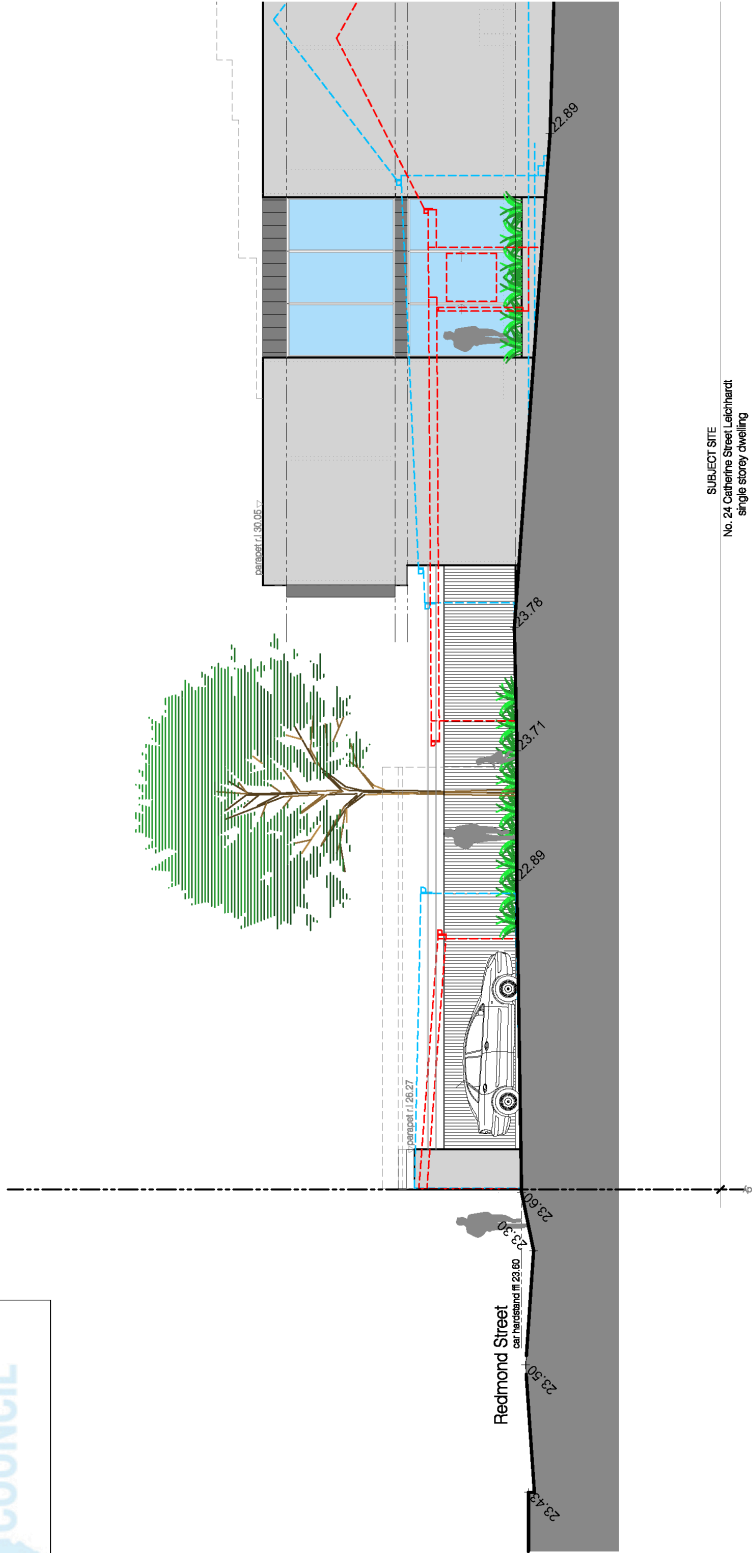
SUBJECT SITE
 No. 24 Catherine Street, Leichhardt
 single storey dwelling

PROPOSED SOUTHERN SIDE ELEVATION

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| <p>ISSUE: A</p> | <p>AMENDMENTS: PRE-DA ISSUE</p> | <p>CLIENT: Development Design Pty Ltd</p> | <p>PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS</p> |
| <p>ISSUE: B</p> | <p>DATE: 08.05.2018 19.06.2018</p> | <p>CLIENT: TRADER IN PURPLE 113PTY LTD</p> | <p>SCALE: 1:100 @ A3</p> |
| <p>ISSUE: DA</p> | <p>DATE: 08.05.2018 19.06.2018</p> | <p>ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040</p> | <p>DRAWN: S.G</p> |
| <p>ISSUE: 2.13</p> | <p>DATE: 08.05.2018 19.06.2018</p> | <p>ADDRESS: 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au</p> | <p>CHECKED: S.G</p> |
| <p>ISSUE: DA</p> | <p>DATE: 08.05.2018 19.06.2018</p> | <p>ADDRESS: 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au</p> | <p>DO NOT SCALE DRAWING</p> |

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INNER WEST COUNCIL
 DEVELOPMENT CONSENT
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SUBJECT SITE
 No. 24 Catherine Street, Leichhardt
 single storey dwelling

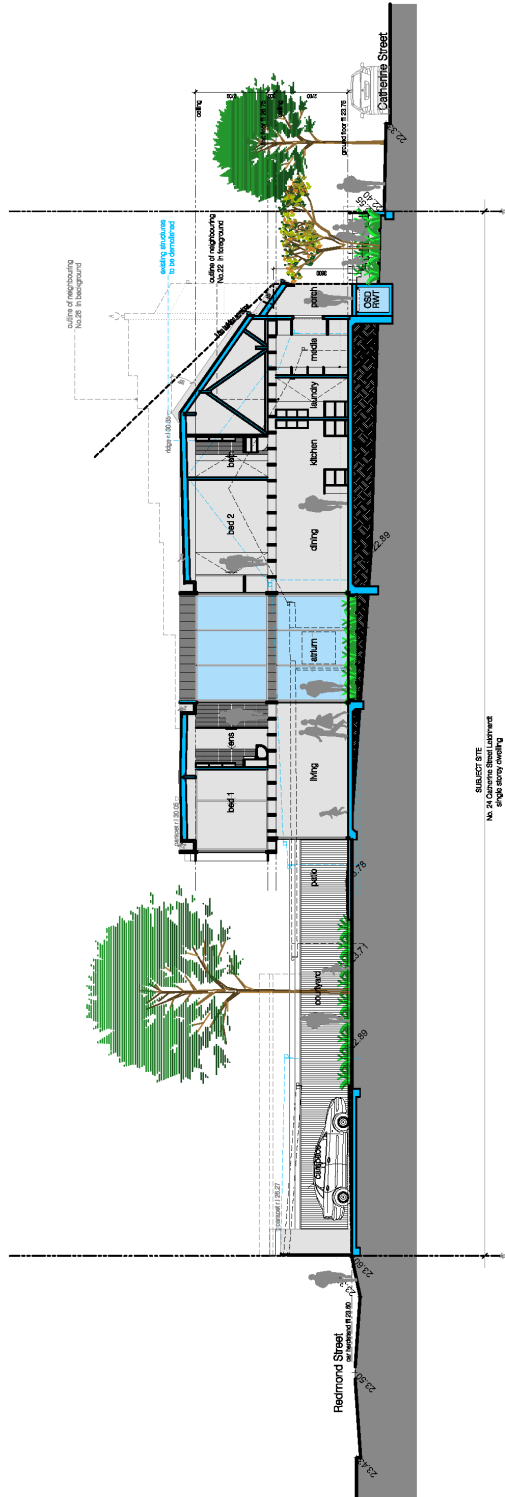
PROPOSED SOUTHERN SIDE ELEVATION

DA PLANS
 FOR CONSTRUCTION

| | | | | | | |
|------------------|---|-----------------------------------|--|---|----------------------|-------------------------|
| ISSUE: A B | AMENDMENTS: PRE-DA ISSUE DA ISSUE | DATE: 08.05.2018 19.06.2018 | CLIENT: Development Design Pty Ltd ACN: 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:100 @ A3 | ISSUE: B |
| | | | | | DRAWN: S.G | DA |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED SOUTHERN SIDE ELEVATION | CHECKED: S.G | DO NOT SCALE DRAWING |
| | | | | | | SHEET No: 2.14 |

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INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/529



TYPICAL SECTION A - A (SOUTHERN LOT)

CC PLANS FOR CONSTRUCTION

ISSUE: A
 B
 AMENDMENTS: PRE-DA ISSUE
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 19.06.2018

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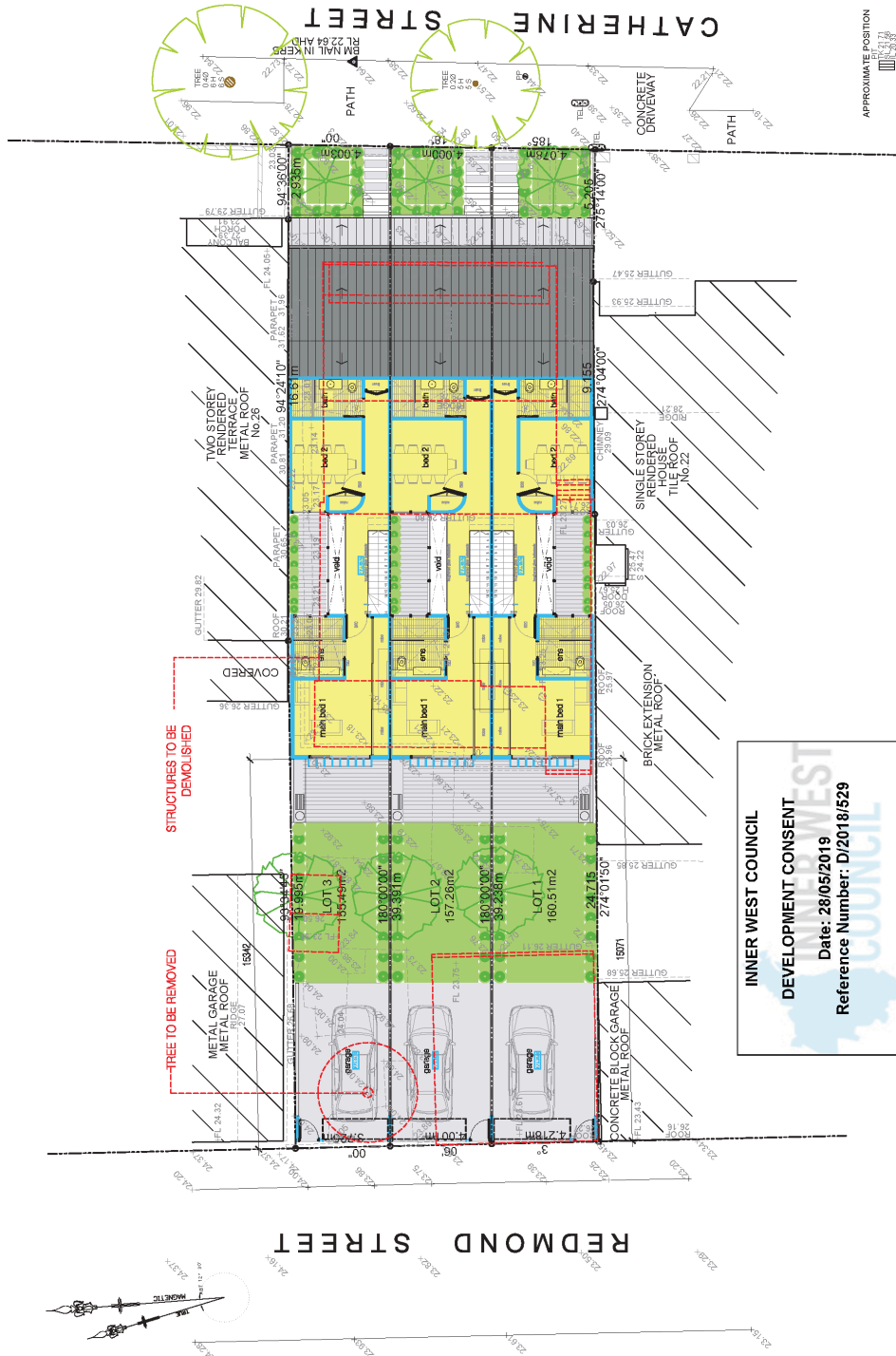
PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS
 DRAWING: TYPICAL SECTION A-A

SCALE: 1:150 @ A3
 DRAWN: S.G
 CHECKED: S.G

ISSUE: B
 DA
 SHEET No: 3.01
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TYPICAL SECTION A-A

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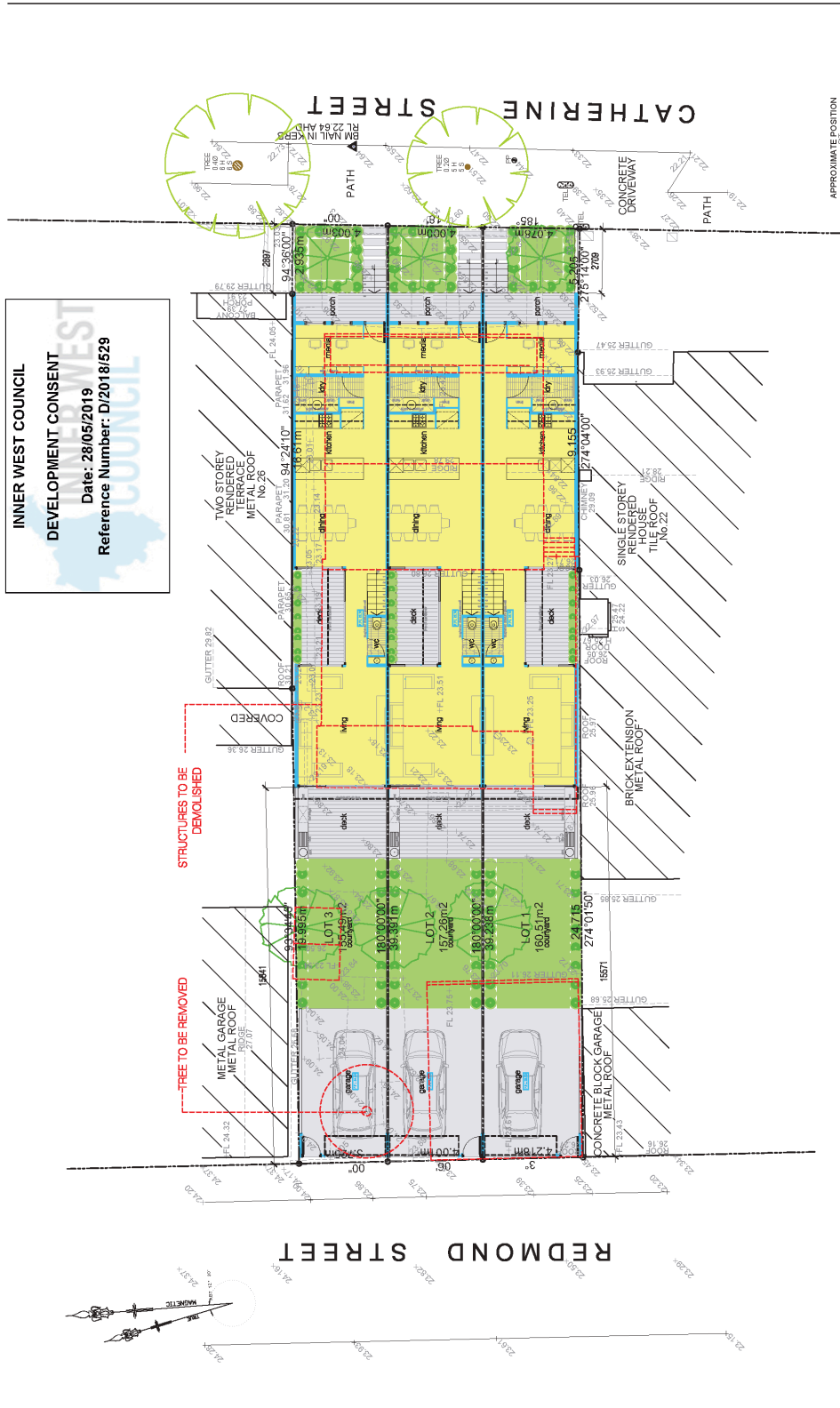
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| DA PLANS NOT FOR CONSTRUCTION | AMENDMENTS: | SCALE: | ISSUE: |
| | A B | PRE-DA ISSUE DA ISSUE | 1:150 @ A3 DRAWN: S.G CHECKED: S.G |
| SHEET No: | | | DO NOT SCALE DRAWING |
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|---|---|
| PROJECT: | CLIENT: |
| PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | TRADER IN PURPLE 113PTY LTD |
| DRAWING: | ADDRESS: |
| PROPOSED FIRST FLOOR ANALYSIS | LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 |

| | |
|--------------------------|---|
| DATE: | DATE: |
| 08.05.2018 19.06.2018 | 08.05.2018 19.06.2018 |
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| A B | 08.05.2018 19.06.2018 |
| PRE-DA ISSUE DA ISSUE | ACN 107 176 967 |
| 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | 08.05.2018 19.06.2018 |

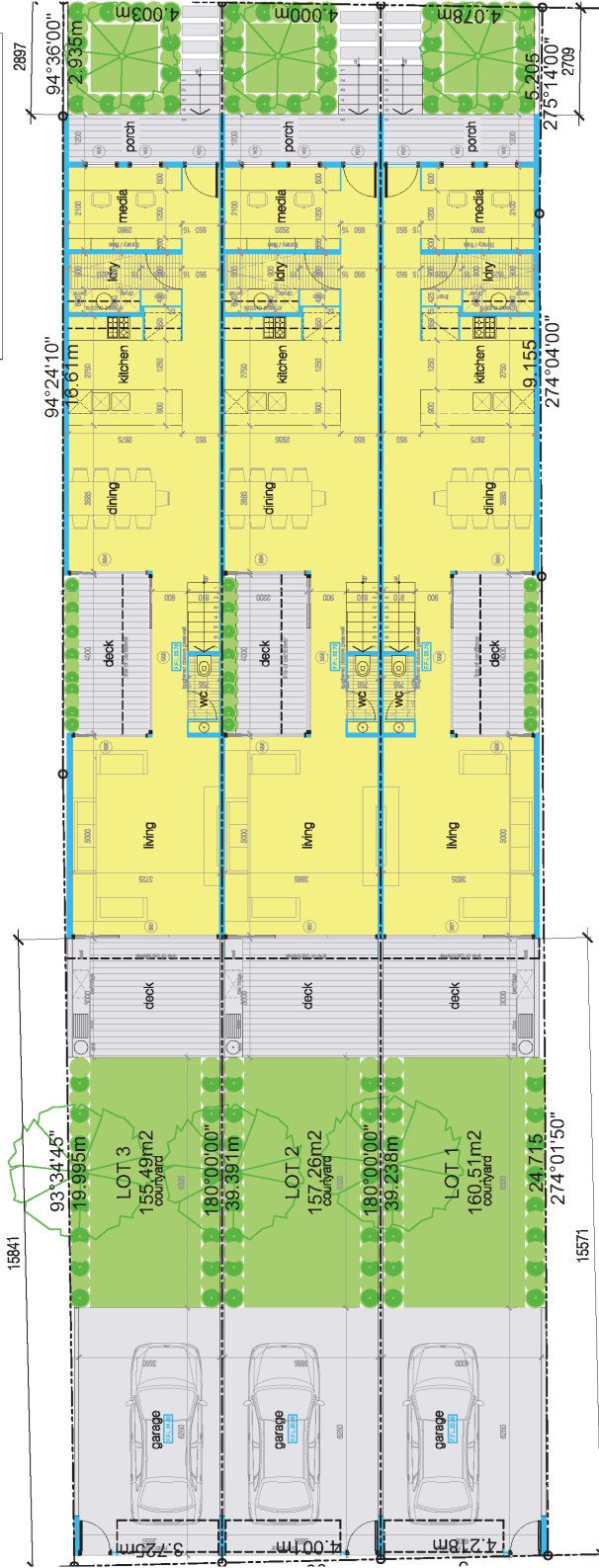
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| DA PLANS NOT FOR CONSTRUCTION | | PROPOSED GROUND FLOOR ANALYSIS | |
|----------------------------------|--|---|---|
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| SCALE: 1:150 @ A3 | ISSUE: B DA | DATE: 08.05.2018 19.06.2018 | SHEET No: 0.12 |
| DO NOT SCALE DRAWING | DO NOT SCALE DRAWING | DRAWN: S.G. | CHECKED: S.G. |

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PROPOSED GROUND FLOOR PLAN

DA PLANS
 NOT FOR CONSTRUCTION

| | | | | | | | |
|------------------|---|-----------------------------------|---|---|---|--|---|
| ISSUE: A B | AMENDMENTS: PRE-DA ISSUE DA ISSUE | DATE: 08.05.2018 19.06.2018 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | CUSTOMER: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS DRAWING: PROPOSED GROUND FLOOR PLAN | SCALE: 1:100 @ A3 DRAWN: S.G CHECKED: S.G | ISSUE: B DA DA SHEET No: 1.02 DO NOT SCALE DRAWING |
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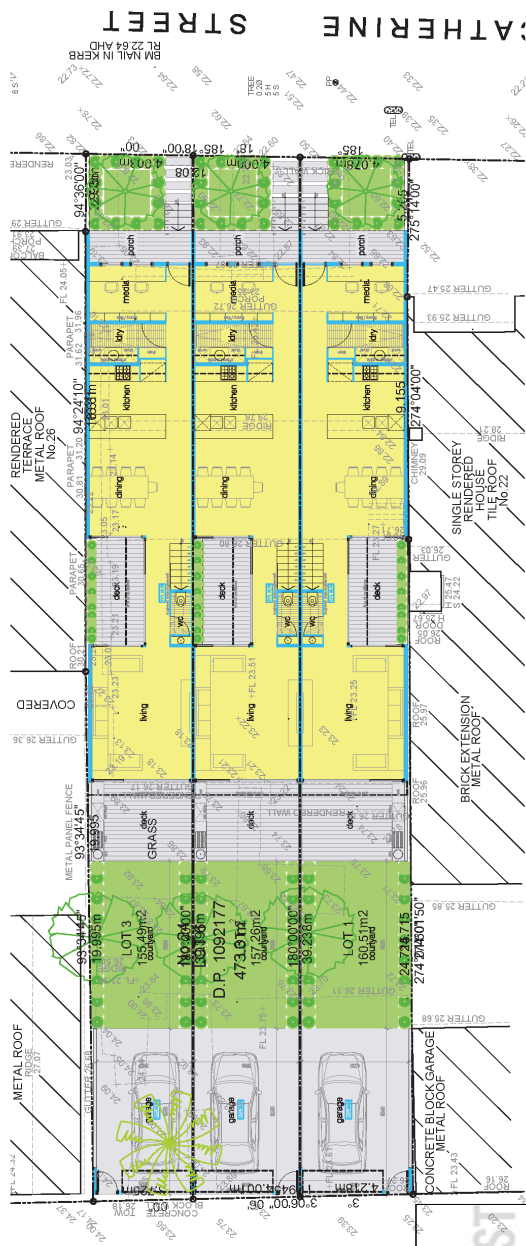
INNER WEST COUNCIL
 DEVELOPMENT CONSENT
 Date: 28/05/2019
 Reference Number: D/2018/1529



PROPOSED FIRST FLOOR PLAN

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| DA PLANS NOT FOR CONSTRUCTION | AMENDMENTS: PRE-DA ISSUE DA ISSUE | DATE: 08.05.2018 19.06.2018 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:100 @ A3 | ISSUE: B |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED FIRST FLOOR PLANS | DRAWN: S.G. CHECKED: S.G. | DA SHEET No: 1.03 |

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CC PLANS
 PRE-CONSTRUCTION

| ISSUE: | AMENDMENTS: | DATE: |
|--------|-------------|------------|
| A | PREDA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.09.2018 |

LANDSCAPE PLAN

| SCALE: | 1:100 @ A3 |
|----------|------------|
| DRAWN: | SG |
| CHECKED: | SG |

| PROJECT: | PROPOSED SUBMISSION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
|----------|--|
| CLIENT: | TRADER IN PURPLE 113PTY LTD |
| ADDRESS: | LOT 22 SEC 8 in DP 119 24 CATHERINE STREET LEICHHARDT 2040 |

| ISSUE: | AMENDMENTS: | DATE: |
|--------|-------------|------------|
| A | PREDA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.09.2018 |

| ISSUE: | AMENDMENTS: | DATE: |
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| A | PREDA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.09.2018 |

| ISSUE: | AMENDMENTS: | DATE: |
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| A | PREDA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.09.2018 |

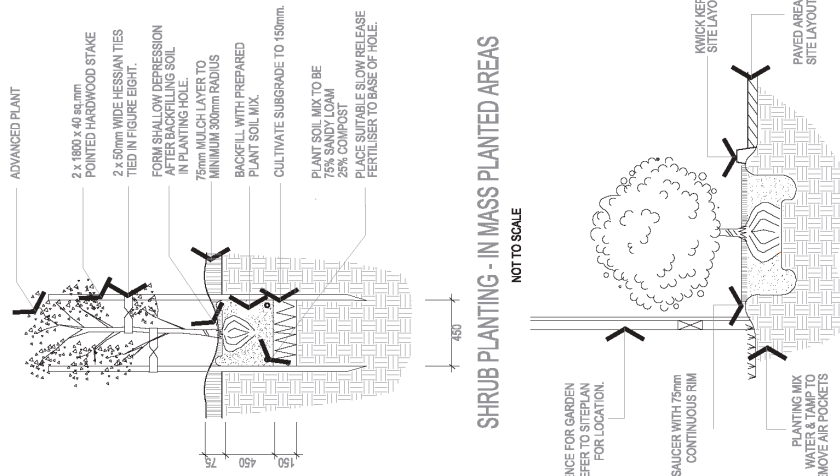
| ISSUE: | AMENDMENTS: | DATE: |
|--------|-------------|------------|
| A | PREDA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.09.2018 |

| ISSUE: | AMENDMENTS: | DATE: |
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| A | PREDA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.09.2018 |

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PLANTING SCHEDULE

| SYMBOL | BOTANIC NAME | COMMON NAME | MAX HEIGHT | POT SIZE | STAKING | NUMBER |
|--------|------------------------------------|----------------|------------|----------|---------|--------|
| | TREES 4-10m | | | | | |
| | <i>Crassula acutifolia</i> | Frangipani | 7m | 100L | YES | 6 |
| | <i>Crassula ovata</i> | Jade Plant | 0.6m | 1.5m | 5lt | NO 10 |
| | BAMBOOS | | | | | |
| | <i>Bambusa textilis 'Gracilis'</i> | Bamboo | 7m | 3m | 2.5lt | NO 16 |
| | GROUND COVER | | | | | |
| | <i>Lomandra confertifolia</i> | Little con | 0.6m | 0.6m | 2.5lt | NO 15 |
| | <i>Ophiopogon japonicus</i> | Dwarf Lilyturf | - | - | 0.5lt | NO 20 |
| | GRASS | | | | | |
| | <i>Sir Walter Buffalo</i> | Turf Grass | - | - | - | NO - |



ADVANCED TREE PLANTING DETAIL

NOT TO SCALE

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:
Imported planting mix to planting beds is to comprise an approved soil mix of:
 • 70% Topsoil (min 2% sand)
 • 10% Much-norm compost
 • 10% Composted sawdust
 • 10% Compost
 • 10% Composted manure

Mulch:
Mulch shall mean Hot-Bark (15mm grade), free from material derived from Pinus, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 20mm grade shall be rejected. Mulch shall be supplied by Australian Native Landscapes Pty Ltd Phone (02) 8459 1444, or approved equivalent.

Plant Materials:
All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soil or force grown and fit for planting.

Trunk stakes:
All new turfed areas are to be selected weed free Soft Lead Buffalo. Turf shall be laid neatly buried with staggered joints, flush with adjacent surfaces and have even running ribs to all drainage points. All new turfed areas shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to tarring.

PREPARATION AND HARDWORKS

Excavating for Spot Planting
To planting areas excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking
Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

TIES: Provide a 50mm wide Nylon webbing tie per stake. Tied securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Decorative Pebble
Decorative pebbles shall be Western White pebbles, gravel to be of uniform size or graded material in the size 30 - 40mm grade to normal 75mm thickness as available from Australian Native Landscapes. Ph: (02) 8459 1444.

Concrete Edge
Concrete edges shall be 100 x 200mm (width) reinforced flush concrete kerb to locations specified on site plan. The kerb shall be finished with a decorative finish. Top finish exposed edges with 10mm pencil round to prevent chipping.

MAINTENANCE / PLANT ESTABLISHMENT

- Landscaping Contractors to provide 13 weeks for maintenance / plant establishment period. Carry out site work, topsoil, mulch, watering, weeding, pruning, hedge clipping, top dressing, and keeping the site neat and tidy.

NOTE:

- All finished levels are to be verified by Contractor on site, increase size and guidelines.
 - This plan to be used in conjunction with all other submitted architectural, hydraulic and engineering drawings where applicable.

INNER WEST COUNCIL
DEVELOPMENT CONSENT
Date: 28/05/2019
Reference Number: D/2018/529

LANDSCAPE PLAN

SCALE: 1:100 @ A3
DRAWN: S.G.
CHECKED: S.G.
ISSUE: B
DA
SHEET No: 5.01A
DO NOT SCALE DRAWINGS

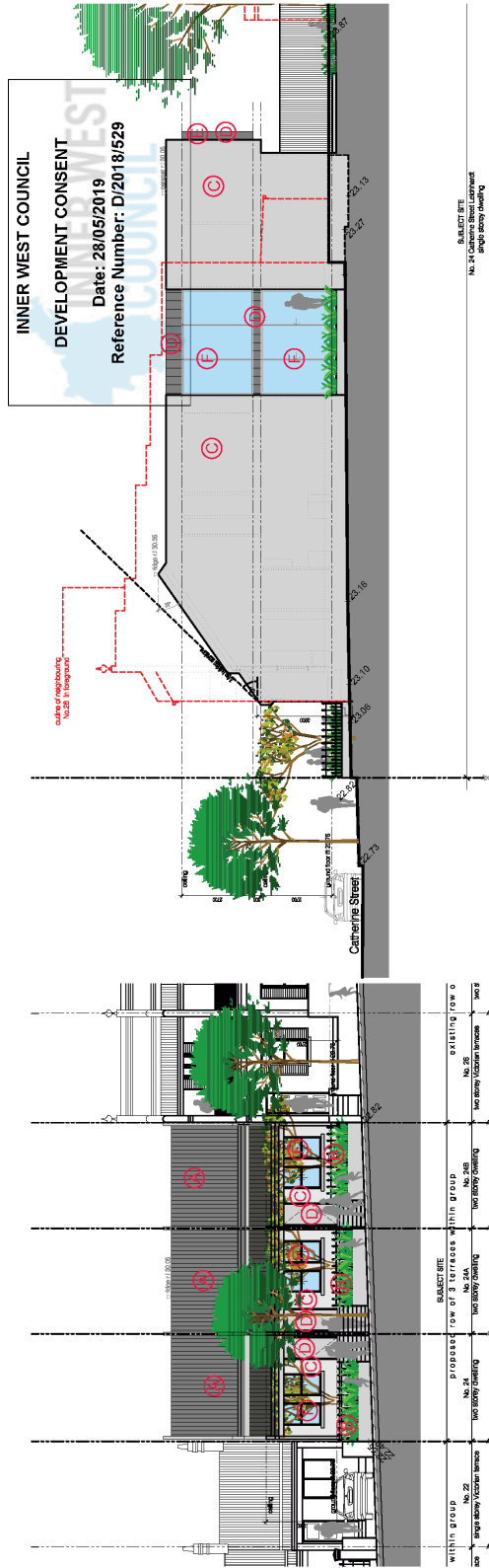
PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS
CLIENT: TRADER IN PURPLE 113PTY LTD
ADDRESS: LOT 22 SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040
DRAWING: LANDSCAPE PLAN

CC PLANS FOR CONSTRUCTION
ISSUE: AMENDMENTS:
A PRE-DA ISSUE
B DA ISSUE

DATE: 08.05.2018
19.09.2018

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A Selected Traditional Corrugated Profile Colourbond Roof Sheeting.

B Aluminium Front Fence Detail in Malay Grey or Similar

C Selected Colourbond Shale Grey Roof Colour

D Malay Grey or Similar Colour

E Selected aluminium windows & doors in Malay Grey Colour

F Selected external glazing & Aluminium Frames in Malay Grey or Similar Colour

G Selected aluminium fixed privacy screen in Malay Grey or Similar Colour

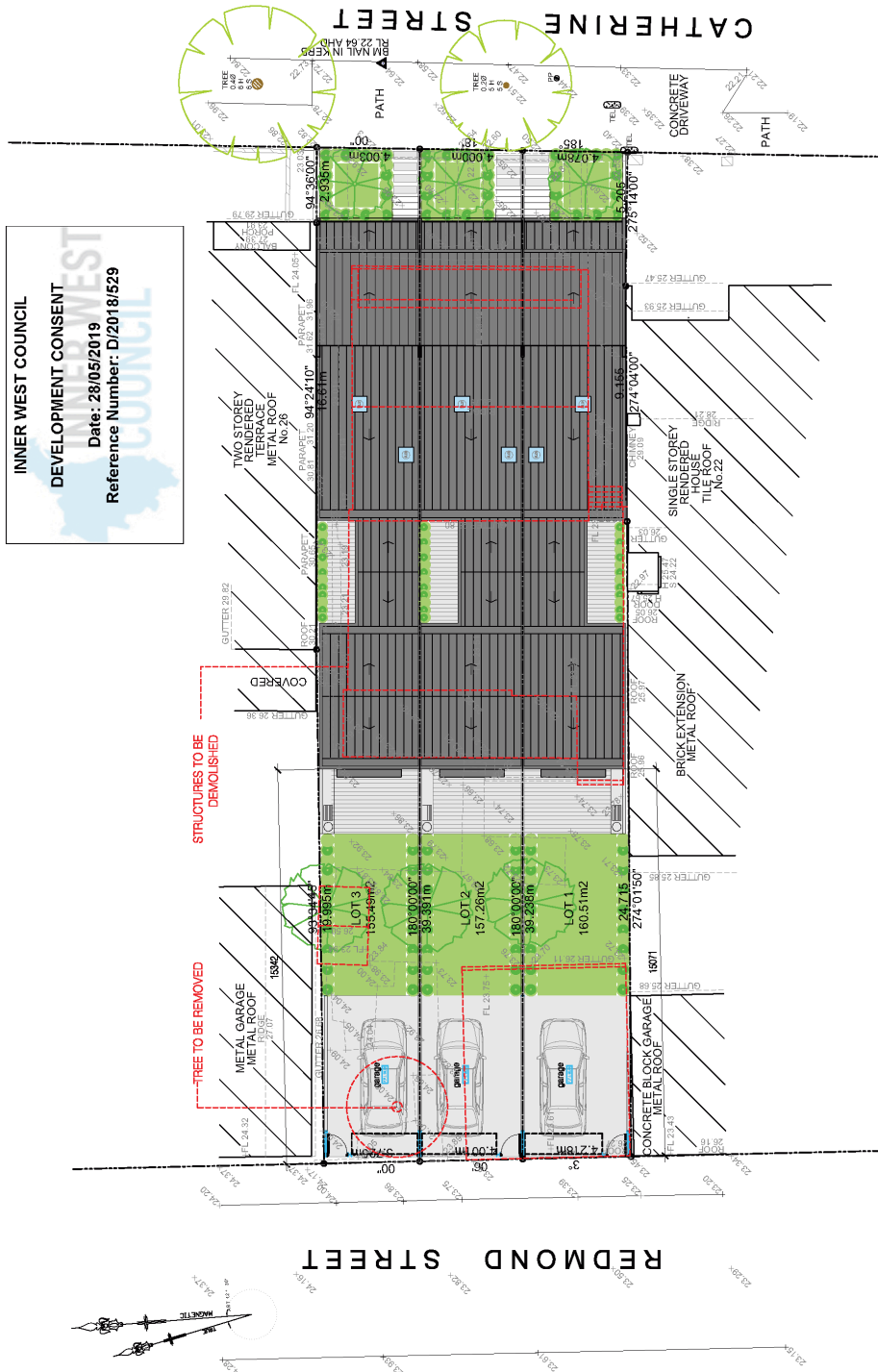
H Traditional timber hung window

I PG3C3B Malay Grey

J Malay Grey or Similar Colour

| | | | | | | | | | | | | | |
|--------------------------------------|--|--|--|---|--|---|--|---|--|-----------------------------|--|--|--|
| DA PLANS FOUR CONSULTATION | | AMENDMENTS: PRE-DA ISSUE DA ISSUE | | DATE: 08.05.2018 19.06.2018 | | CLIENT: Development Design Pty Ltd ACN: 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS TRADER IN PURPLE 113PTY LTD | | SCALE: 1:150 @ A3 | | ISSUE: B | |
| ISSUE: A B | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | | DRAWING: MATERIAL & COLOUR SCHEDULE OF FINISHES | | CHECKED: S.G. S.G. | | DRAWN: S.G. | | DO NOT SCALE DRAWING | | DA DA SHEET No: 5.03 | |

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PROPOSED ROOF PLAN ANALYSIS

| | | | | | | |
|----------|--------------------------|------------------|--|--|-------------------|----------------------|
| ISSUE: A | AMENDMENTS: PRE-DA ISSUE | DATE: 08.05.2018 | CLIENT: Development Design Pty Ltd | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:150 @ A3 | ISSUE: B |
| ISSUE: B | AMENDMENTS: DA ISSUE | DATE: 19.06.2018 | CLIENT: Development Design Pty Ltd | PROJECT: PROPOSED ROOF PLAN ANALYSIS | SCALE: 1:150 @ A3 | ISSUE: DA |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED ROOF PLAN ANALYSIS | DRAWN: S.G. | SHEET No: 0.10 |
| | | | ACN: 107 176 867 | | CHECKED: S.G. | DO NOT SCALE DRAWING |

DA PLANS FOR CONSTRUCTION

AMENDMENTS:
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DATE:
 08.05.2018
 19.06.2018

CLIENT:
 Development Design Pty Ltd
 ACN: 107 176 867

PROJECT:
 PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS

SCALE:
 1:150 @ A3

ISSUE:
 B

STRUCTURES TO BE REMOVED

STRUCTURES TO BE DEMOLISHED

TWO STOREY RENDERE... METAL ROOF No. 26

SINGLE STOREY RENDERE... HOUSE TILE ROOF No. 22

BRICK EXTENSION METAL ROOF

CONCRETE BLOCK GARAGE METAL ROOF

METAL GARAGE METAL ROOF

LOT 1: 160.51m²

LOT 2: 157.26m²

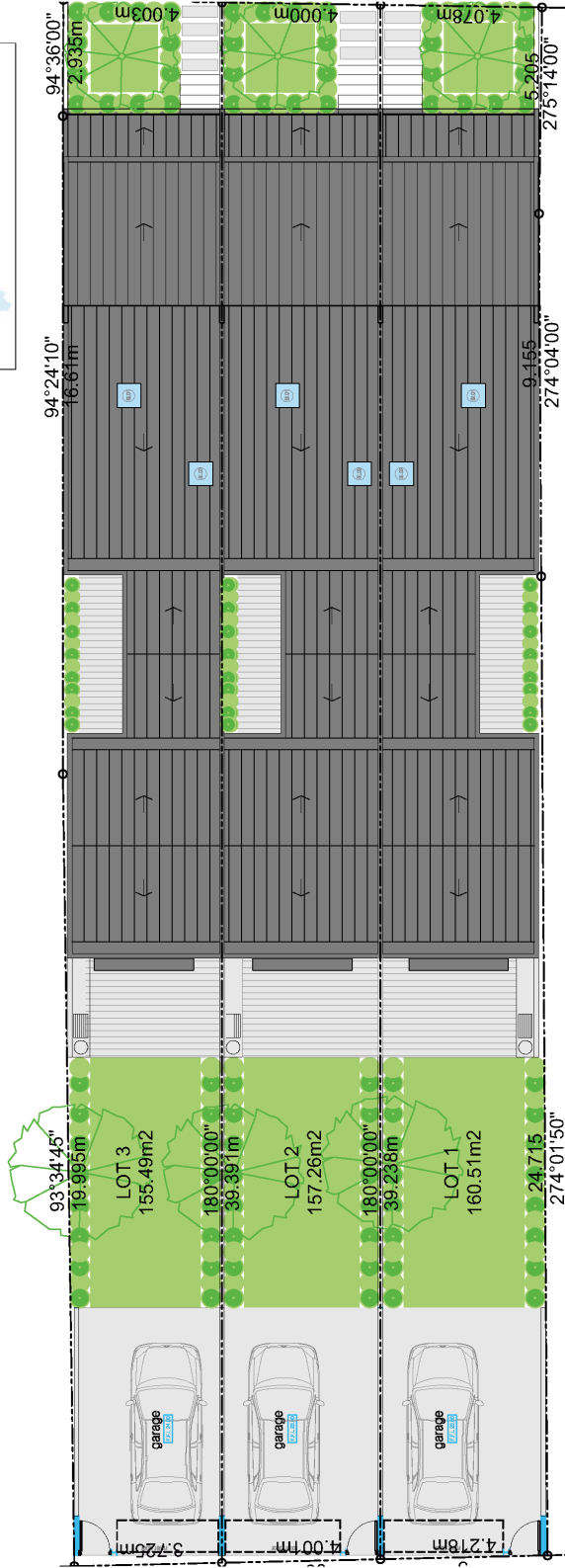
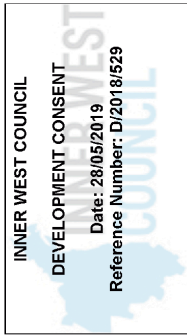
LOT 3: 155.49m²

REDMOND STREET

CATHERINE STREET

APPROXIMATE POSITION WITHIN SITE

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PROPOSED ROOF PLAN

DA PLANS
NOT FOR CONSTRUCTION

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|------------------|---|-----------------------------------|---|---|---|----------------------|-------------------|
| ISSUE: A B | AMENDMENTS: PRE-DA ISSUE DA ISSUE | DATE: 08.05.2018 19.06.2018 | CLIENT: Development Design Pty Ltd ACN: 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au | CLIENT: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS DRAWING: PROPOSED ROOF PLAN | SCALE: 1:100 @ A3 | ISSUE: B |
| | DO NOT SCALE DRAWING | DO NOT SCALE DRAWING | | | | ISSUE: DA | SHEET No: 1.02 |

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PROPOSED GROUND FLOOR PLAN

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|--|---|---|---|---|-------------------------|-------------------|
| SECC4.55 PLANS NOT FOR CONSTRUCTION | AMENDMENTS: PREDA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:100 @ A3 | ISSUE: C |
| | DRAWING: PROPOSED GROUND FLOOR PLAN | CHECKED: S.G. | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWN: S.G. | DO NOT SCALE DRAWING | SHEET No: 1.02 |
| | ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDCOVERS, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER. | | | | | |



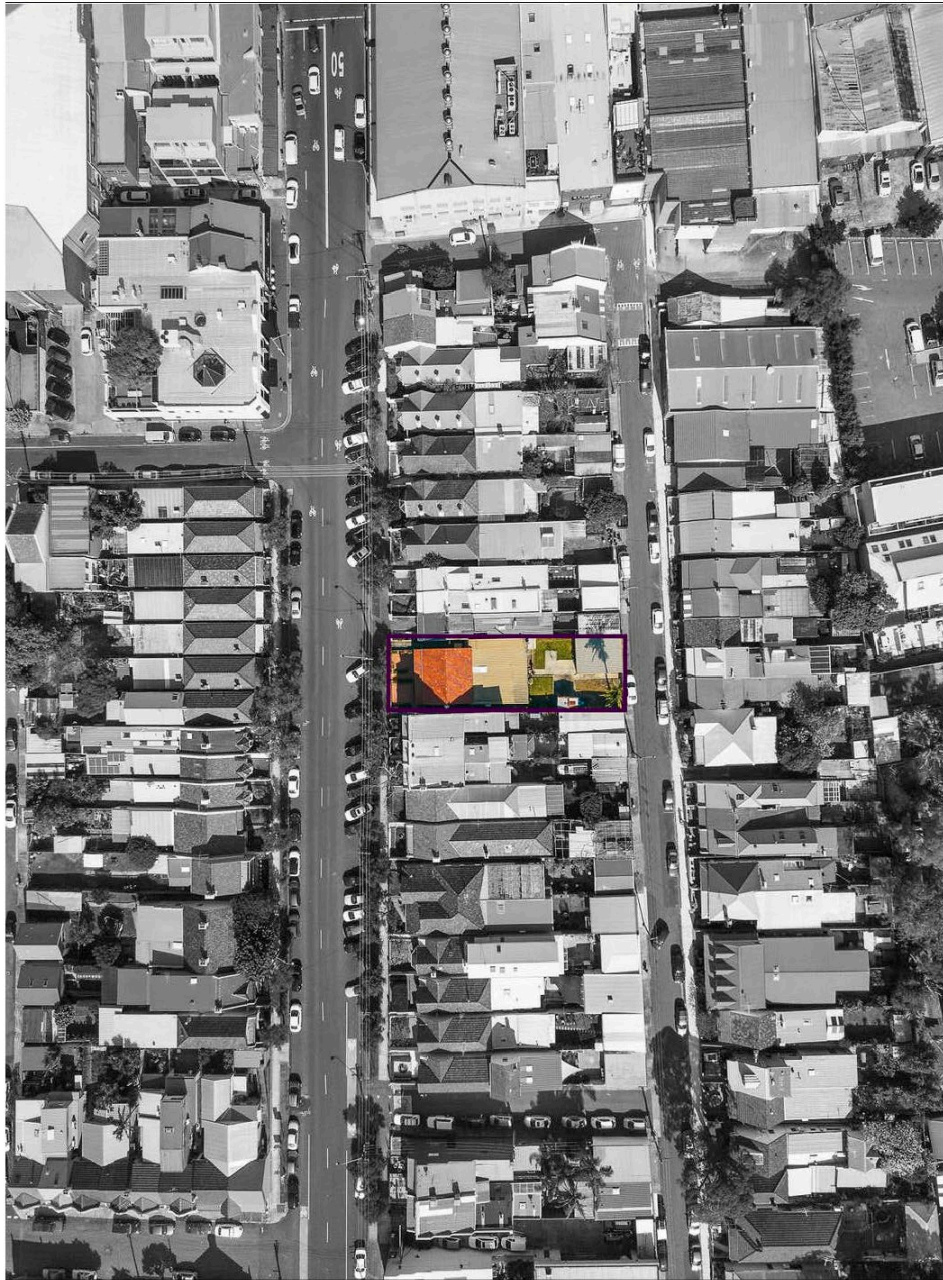
| SECC4.55 PLANS NOT FOR CONSTRUCTION | | AMENDMENTS: | | DATE: | | CLIENT: | | PROJECT: | | SCALE: | | ISSUE: | |
|--|-----------------------|-------------|---|---|--|--------------|----------------------|----------|------------|--------|-----------|--------|--|
| A | PRE-DA ISSUE | 08.05.2018 | Development Design Pty Ltd | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | | 1:100 @ A3 | C | | DRAWN: S.G | | DA | | |
| B | DA ISSUE | 18.06.2018 | TRADER IN PURPLE 113PTY LTD | ADDRESS: | | CHECKED: S.G | DO NOT SCALE DRAWING | | DRAWING | | SHEET No: | | |
| C | SEC 4.55 MODIFICATION | 27.07.2019 | 340a Riley Street Surry Hills NSW 2010 | PROPOSED FIRST FLOOR PLANS | | | | | | | 1.03 | | |
| | | | ACN 107 176 867 | LOT 22, SEC B in DP 119 | | | | | | | | | |
| | | | +61(02) 9211 7800 info@developmentdesign.com.au | 24 CATHERINE STREET | | | | | | | | | |
| | | | www.developmentdesign.com.au | LEICHHARDT 2040 | | | | | | | | | |

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SITE & SUBDIVISION ANALYSIS

| | | | | | |
|--|---|---|--|--|----------------------------------|
| SECT 4.55 PLANS FOR CONSTRUCTION ISSUE: A PREDA ISSUE: B DA ISSUE: C SEC 4.55 MODIFICATION | DATE: 09.05.2018 19.05.2018 27.07.2019 | CLIENT: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 9 ATTACHED DWELLINGS DRAWING: SITE & SUBDIVISION ANALYSIS | SCALE: - DRAWN: S.G CHECKED: S.G DO NOT SCALE DRAWING | ISSUE: C DA SHEET No: 0.01 |
| | ALL BUILDINGS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA LOUCCAL REQUIREMENTS. THE BUILDER/MANUFACTURER MUST CHECK AND VERIFY ALL DIMENSIONS, BEHIND AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER. | | | | |



SEC 4.55 PLANS FOR CONSTRUCTION

AMENDMENTS:
 PRE-DA ISSUE
 DA ISSUE
 SEC 4.55 MODIFICATION

DATE:
 08.06.2018
 19.06.2018
 27.07.2019

Development Design Pty Ltd
 ACN 107 116 867
 34-0a Riley Street Surry Hills NSW 2010
 +61(02) 9211 7600 | info@developmentdesign.com.au
 www.developmentdesign.com.au

CLIENT:
 TRADER IN PURPLE 113PTY LTD
 ADDRESS:
 LOT 22, SEC B in DP 119
 24 CATHERINE STREET
 LEICHHARDT 2040

PROJECT:
 PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS
 DRAWING:
 SITE ANALYSIS

SCALE:
 DRAWN: S.O
 CHECKED: S.O



ISSUE:
 C
 DA
 SHEET No:
 0.02

SITE ANALYSIS

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & LOCAL REQUIREMENTS. THE SUBSECTOR MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, LEVELS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.



SEC4.65 PLANS FOR CONSTRUCTION

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| ISSUE: | AMENDMENTS: |
| A | PRE-DA ISSUE |
| B | DA1 ISSUE |
| C | SEC 4.35 MODIFICATION |

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|---------|--|
| DATE: | 06.05.2018 19.09.2018 27.07.2019 |
| CLIENT: | Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(0)2 9211 7900 info@developmentdesign.com.au www.developmentdesign.com.au |

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| PROJECT: | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| DRAWING: | S/G |
| CHECKED: | S/G |

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| ISSUE: | C |
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| SHEET No.: | 0.03 |

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| SCALE: | DO NOT SCALE DRAWING |
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| PROJECT: | TRADER IN PURPLE 113PTY, LTD |
| ADDRESS: | LOT 22, SEC B DP 119 24 CATHERINE STREET LEICHHARDT 2040 |

SITE ANALYSIS

ALL BUILDINGS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA COUNCIL REQUIREMENTS. THE BUILDERS/ MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, LEVELS, CONNECTIONS, NETWORKS AND CONNECTION METHODS FROM TO COMMENCEMENT. COPY RIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.



SECC4.65 PLANS FOR CONSTRUCTION

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|-----------------------|------------|
| AMENDMENTS: | 08.06.2018 |
| PRE-DA ISSUE | 19.06.2018 |
| DA ISSUE | 27.07.2019 |
| SEC 4.55 MODIFICATION | |

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|-------|------------|
| DATE: | 08.06.2018 |
| | 19.06.2018 |
| | 27.07.2019 |

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|---|------------------------------|
| Development Design Pty Ltd | CLIENT: |
| ACN 107 116 867 | TRADER IN PURPLE 113PTY, LTD |
| 34-0a Riley Street Surry Hills NSW 2010 | ADDRESS: |
| +61(02) 9211 7600 info@developmentdesign.com.au | LOT 22, SEC B in DP 119 |
| www.developmentdesign.com.au | 24 CATHERINE STREET |
| | LEICHHARDT 2040 |

| | |
|---|---------------|
| PROJECT: | SCALE: |
| PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: S.O |
| DRAWING: | DRAWN: S.O |
| SITE ANALYSIS | CHECKED: S.O |

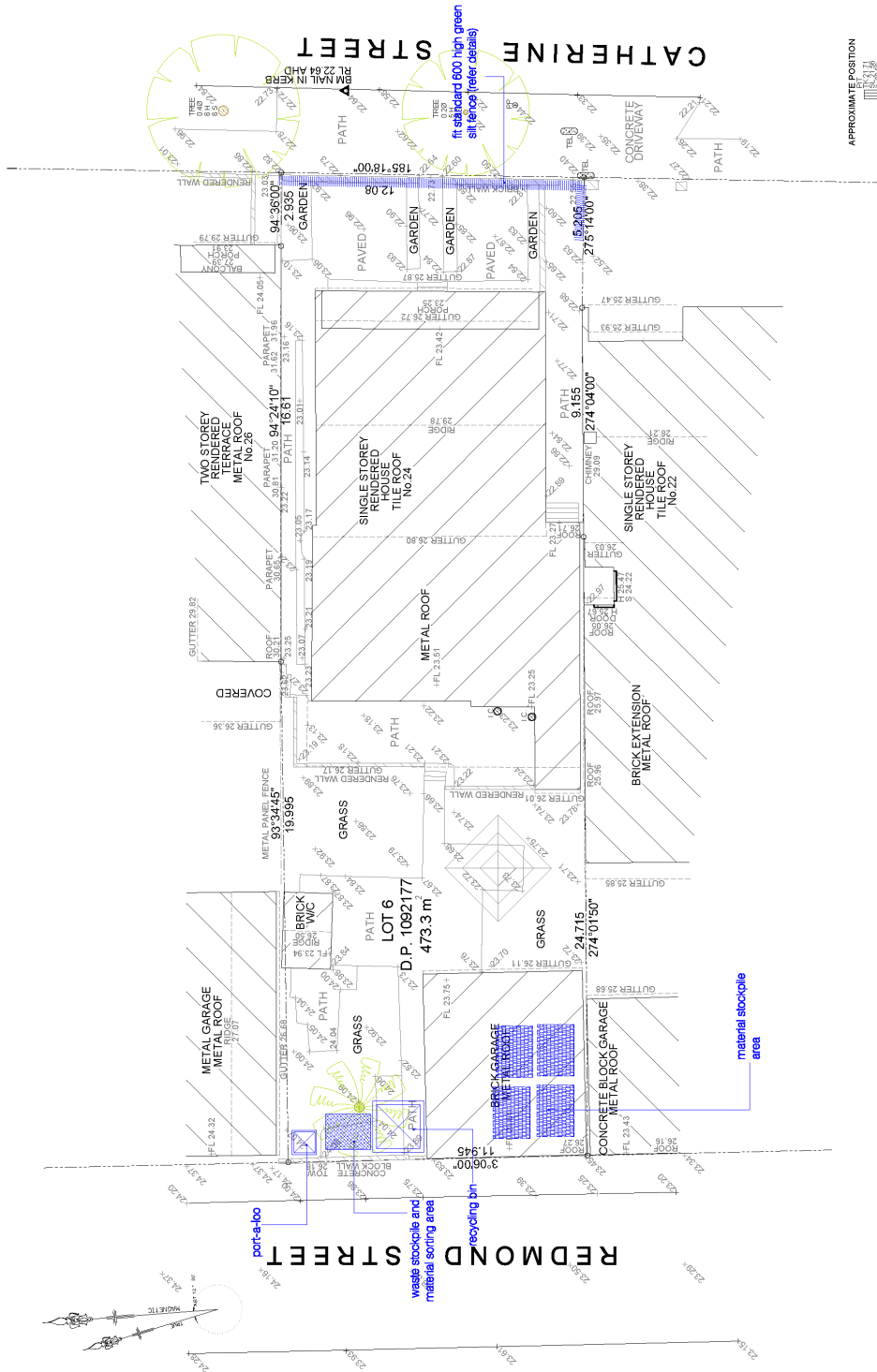
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| ISSUE: | ISSUE: |
| C | C |
| DA | DA |
| SHEET No: | SHEET No: |
| 0.04 | 0.04 |

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| DO NOT SCALE DRAWING |
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SITE ANALYSIS

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ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & LOCAL REQUIREMENTS. THE SUBDIVISION/CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.



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|---|---|---|---|--|--|--|
| SECC4.55 PLANS FOR CONSTRUCTION ISSUE: A B C | AMENDMENTS: PREDA ISSUE 18.06.2018 DA ISSUE 27.07.2019 SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 ADDRESS: 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS DRAWING: EXISTING SITE PLAN & CONSTRUCTION MANAGEMENT PLAN | SCALE: 1:150 @ A3 DRAWN: S.G. CHECKED: S.G. | ISSUE: C DA SHEET No: 0.05 DO NOT SCALE DRAWING |
|---|---|---|---|--|--|--|

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDCOVERS, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.

POST DEVELOPMENT STATISTICS

| SUBJECT | PROPOSED LOT 1 | PROPOSED LOT 2 | PROPOSED LOT 3 | COMPLIANCE |
|---------------------|--|--|--|---|
| Site Area | 180.51m ² | 157.28m ² | 155.49m ² | |
| Ground Floor | 66.30m ² | 66.21m ² | 64.80m ² | |
| First Floor | 60.72m ² | 61.65m ² | 60.18m ² | |
| Rear Deck | 12.38m ² | 12.00m ² | 11.80m ² | |
| Central Deck | 7.00m ² | 7.20m ² | 7.00m ² | |
| Porch | 4.69m ² | 4.66m ² | 4.69m ² | |
| Car Space Hardstand | 26.09m ² | 26.00m ² | 26.27m ² | |
| Rear Landscape | 26.27m ² | 26.23m ² | 24.42m ² | |
| Central Landscape | 1.84m ² | 1.14m ² | 1.62m ² | |
| Front Landscape | 8.26m ² | 8.34m ² | 8.54m ² | |
| G.F.A | 126.02m ² | 127.79m ² | 124.98m ² | |
| P.O.S | 47.49m ² | 46.62m ² | 44.84m ² | Complies with 16m ² & 3m min dimension |
| FLOOR SPACE RATIO | 126.02/180.51m ² 0.785 : 1 | 127.79/157.28m ² 0.813 : 1 | 124.98/155.49m ² 0.803 : 1 | NO (Lot 2) NO (Lot 3) |
| TOTAL LANDSCAPE | 36.37/180.51m ² 23% | 34.76/157.28m ² 22% | 34.69/155.49m ² 22% | Complies with 15% min |
| SITE COVERAGE | 71.72/180.51m ² 45% | 71.66/157.28m ² 46% | 71.77/155.49m ² 46% | Complies with 60% max |

| Development Standard | LEP 2013 Requirement | Proposed Lot 1 | Proposed Lot 2 | Proposed Lot 3 | Compliance | % of Non-compliance |
|----------------------|----------------------|--|--|--|--|---|
| Lot Size | 200m ² | 180.51m ² | 157.28m ² | 155.49m ² | NO however supported under DA Approval | Lot 1 : 20% Lot 2 : 21% Lot 3 : 21% (refer Clause 4.6 Exception to Development Standard) |
| Floor Space Ratio | 0.7 : 1 | 126.02/180.51m ² 0.785 : 1 | 127.79/157.28m ² 0.813 : 1 | 124.98/155.49m ² 0.803 : 1 | NO (Lot 1) NO (Lot 2) NO (Lot 3) | 12% 16% 15% |
| Landscape Ratio | 15% | 36.37/180.51m ² 23% | 34.76/157.28m ² 22% | 34.69/155.49m ² 22% | YES | N/A |
| Site Coverage | 60% | 71.72/180.51m ² 45% | 71.66/157.28m ² 46% | 71.77/155.49m ² 46% | YES | N/A |

SEC4.55 PLANS FOR CONSTRUCTION

| | |
|-----------------------------|------------|
| ISSUE: | A |
| AMENDMENTS: | B |
| PRE-DA ISSUE DATE: | 08.05.2018 |
| DA ISSUE DATE: | 19.09.2018 |
| SEC 4.55 MODIFICATION DATE: | 27.07.2019 |

DATE: 08.05.2018
19.09.2018
27.07.2019

Development Design Pty Ltd
ACN 107 176 367
340a Riley Street Surry Hills NSW 2010
+61(0)2(1) 7800 1 info@developmentdesign.com.au
www.developmentdesign.com.au

CLIENT:
TRADER IN PURPLE 113PTY LTD
ADDRESS:
LOT 22, SEC B in DP 119
24 CATHERINE STREET
LEICHHARDT 2040

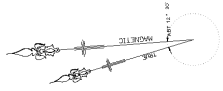
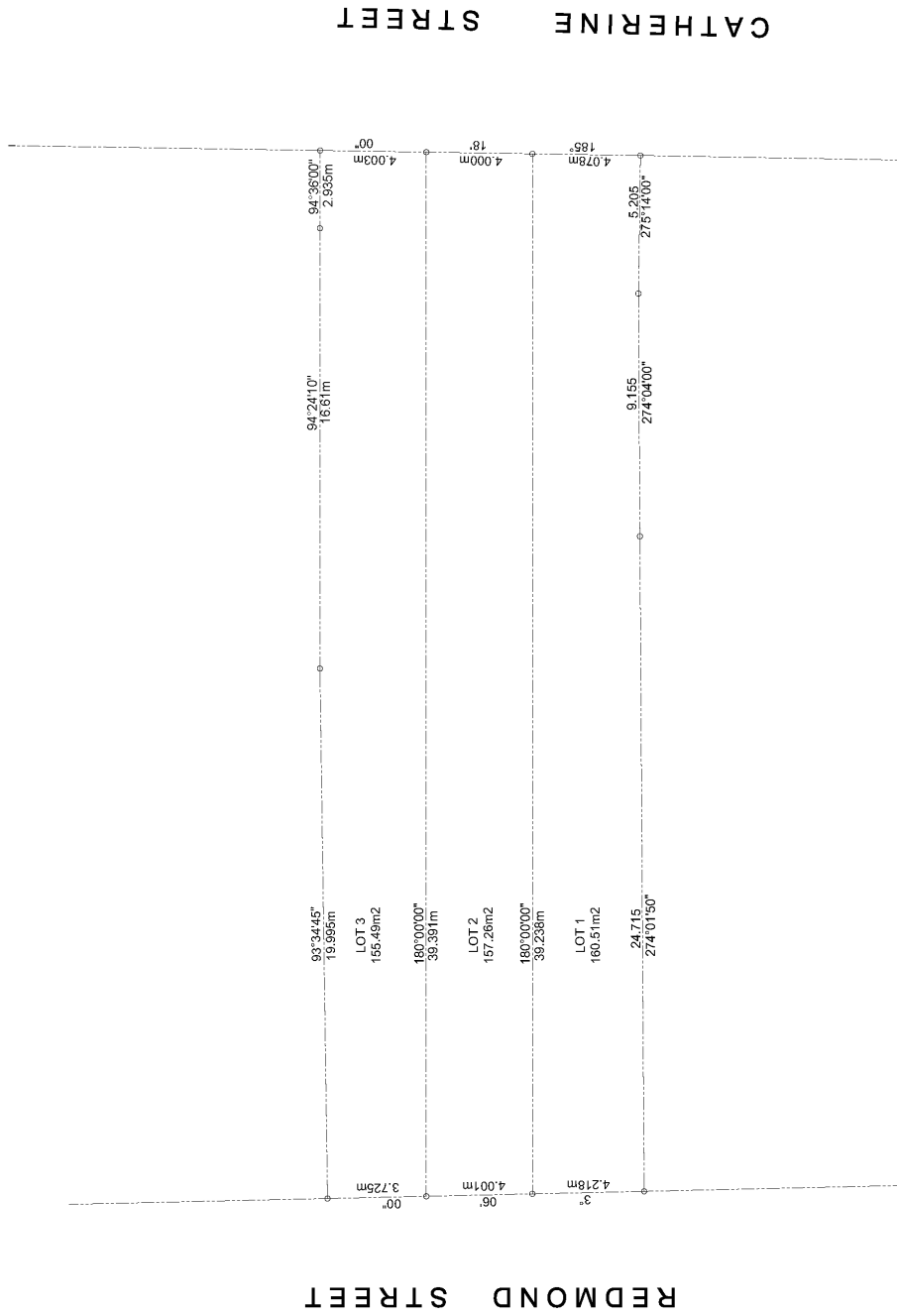
PROJECT:
PROPOSED SUBMISSION & CONSTRUCTION OF 3 ATTACHED DWELLINGS
DRAWING:
SITE CALCULATIONS & COMPLIANCE TABLE
CHECKED:

SCALE:
NTS
DRAWN: SG
CHECKED: S.G.
DO NOT SCALE DRAWING

ISSUE:
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DA
SHEET No:
0.06

SITE CALCULATIONS AND COMPLIANCE TABLE

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & LOCAL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, IN PARTICULAR, BEFORE AND DURING CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPY RIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPMENT DESIGN PTY LTD.

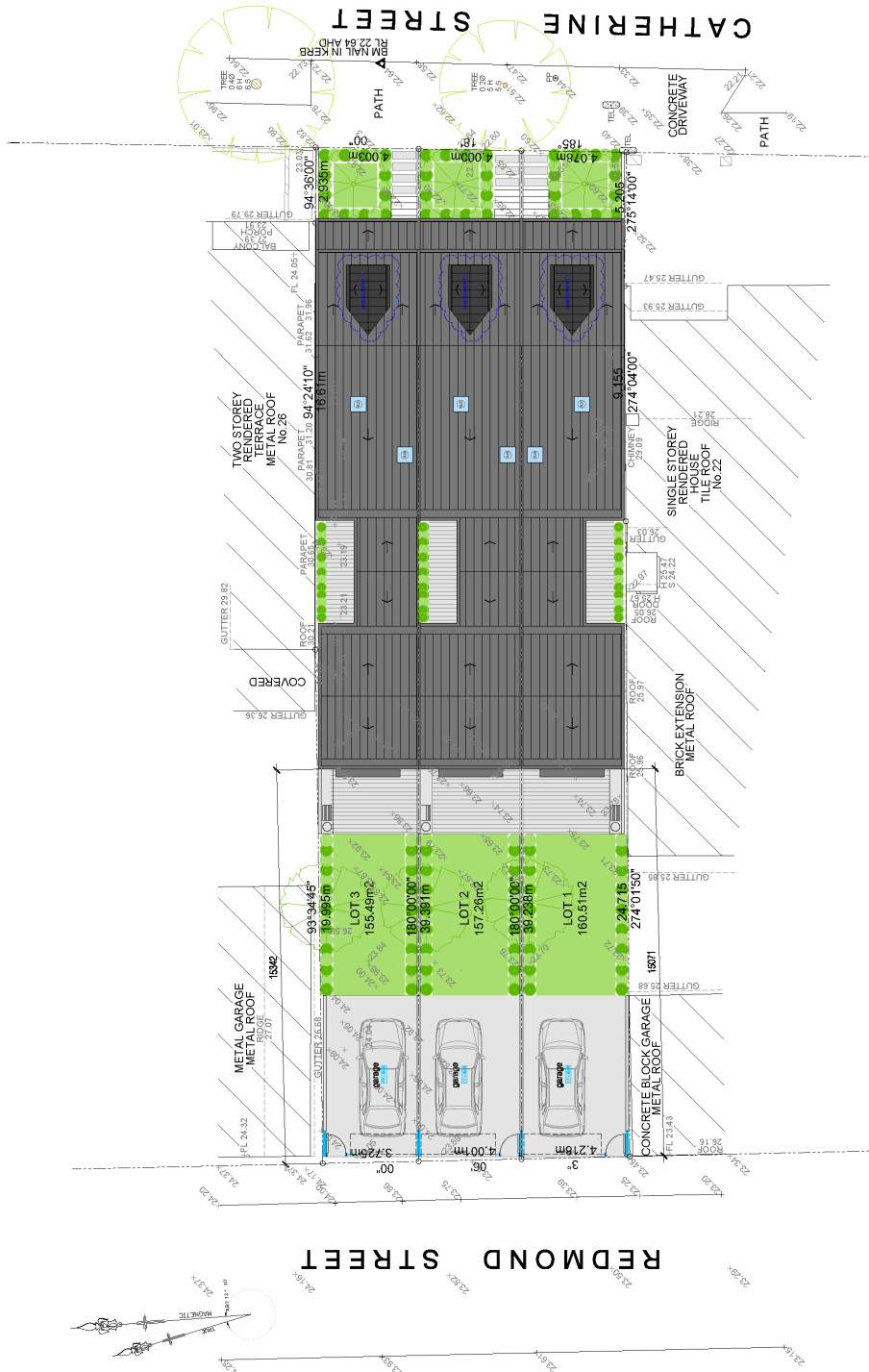


PROPOSED TORRENS TITLE SUBDIVISION CONCEPT PLAN

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|--|--|---|--|-------------------|
| SCALE: 1:150 @ A3 DRAWN: S.G. CHECKED: S.G. | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS DRAWING: PROPOSED TORRENS TITLE SUBDIVISION CONCEPT PLAN | CLIENT: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | ISSUE: C |
| | | | | SHEET No: 0.09 |

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| SECS 4.55 PLANS FOR CONSTRUCTION | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 |
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APPROXIMATE POSITION WITHIN SITE

PROPOSED ROOF PLAN ANALYSIS

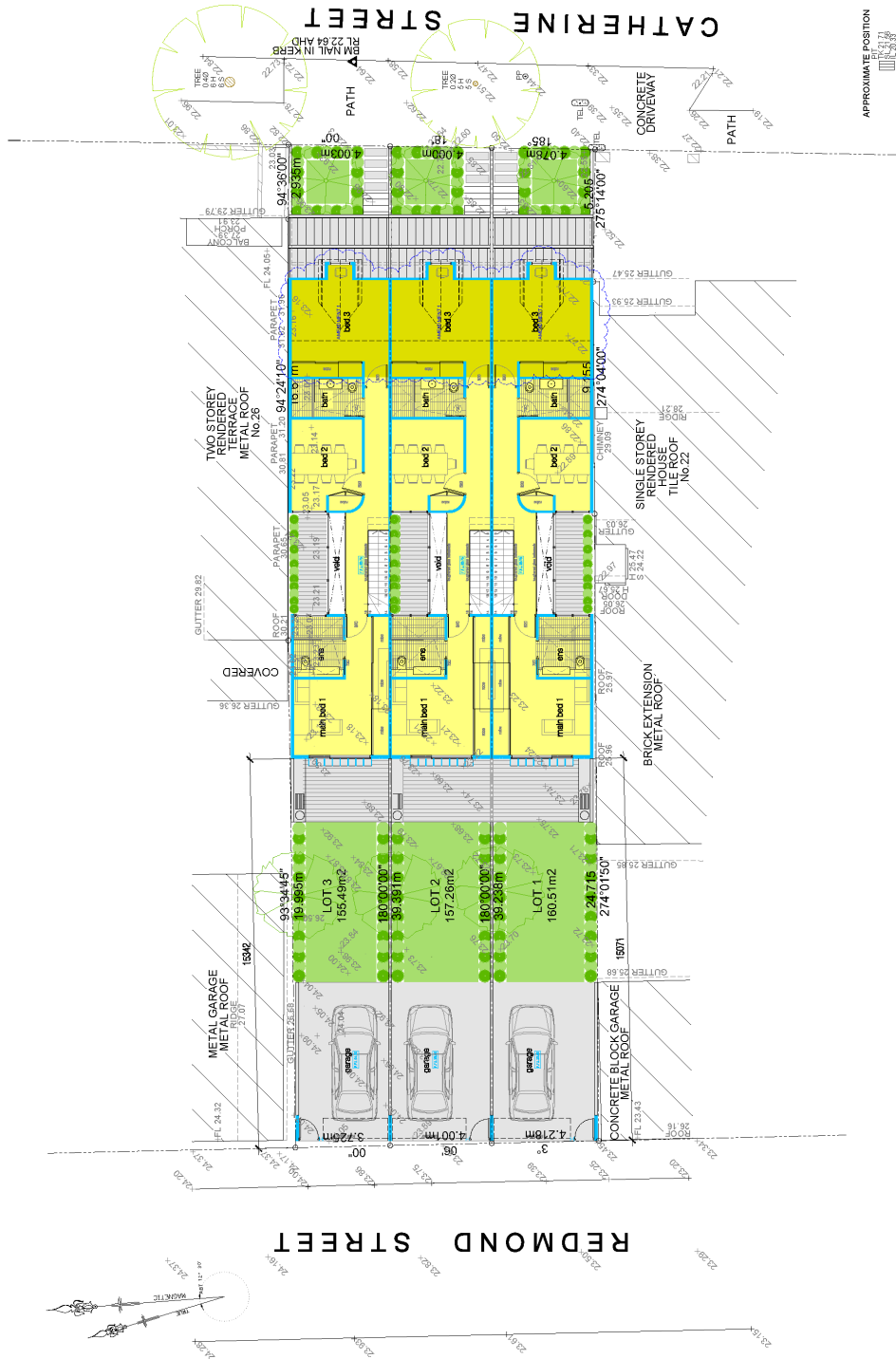
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| SCALE: | 1:150 @ A3 | ISSUE: | C |
| DRAWN: | S.G | DO NOT SCALE DRAWING | |
| CHECKED: | S.G | SHEET No.: | 0.10 |
| PROJECT: | | DRAWING: | |
| PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | | PROPOSED ROOF PLAN ANALYSIS | |

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|-----------------------------|---|
| CLIENT: | Development Design Pty Ltd |
| TRADER IN PURPLE 113PTY LTD | |
| ADDRESS: | LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 |

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|---|--|
| DATE: | 08.05.2018 18.06.2018 27.07.2019 |
| ACN 107 176 867 | |
| 340a Riley Street Surry Hills NSW 2010 | |
| +61(02) 9211 7800 info@developmentdesign.com.au | |
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| SECC4.55 PLANS FOUR CONSTRUCTION | |
| AMENDMENTS: | |
| A PRE-DA ISSUE | |
| B DA ISSUE | |
| C SEC 4.55 MODIFICATION | |

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GRADIENTS, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.



PROPOSED FIRST FLOOR ANALYSIS

| | | | | | | |
|---------------------------------------|---|---|---|---|----------------------|-------------------------|
| SEC4.55 PLANS NOT FOR CONSTRUCTION | AMENDMENTS: PREDA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:150 @ A3 | ISSUE: C |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED FIRST FLOOR ANALYSIS | DRAWN: S.G. | DA SHEET No: 0.11 |
| | | | | | CHECKED: S.G. | DO NOT SCALE DRAWING |

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| <p>SECC4.55 PLANS NOT FOR CONSTRUCTION</p> | | <p>APPROXIMATE POSITION E.T.P.</p> | |
| <p>ISSUE: A B C</p> | | <p>SCALE: 1:150 @ A3</p> | |
| <p>AMENDMENTS: PREDA ISSUE DA ISSUE SEC 4.55 MODIFICATION</p> | | <p>PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS</p> | |
| <p>DATE: 08.05.2018 18.06.2018 27.07.2019</p> | | <p>DRAWN: S.G. CHECKED: S.G.</p> | |
| <p>ISSUE: C</p> | | <p>DO NOT SCALE DRAWING</p> | |
| <p>CLIENT: Development Design Pty Ltd ACN 107 176 867</p> | | <p>DRAWING: PROPOSED GROUND FLOOR ANALYSIS</p> | |
| <p>ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040</p> | | <p>SHEET No.: 0.12</p> | |
| <p>ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.</p> | | | |



PROPOSED ROOF PLAN

SEC4.55 PLANS
NOT FOR CONSTRUCTION

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|-----------------------|--|---|---|---|---|-------------------------|-------------------|
| ISSUE: A B C | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | CLIENT: TRADER IN PURPLE 113PTY LTD ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:100 @ A3 | ISSUE: C |
| | | | | | DRAWING: PROPOSED ROOF PLAN | DRAWN: S.G | DA |
| | | | | | CHECKED: S.G | DO NOT SCALE DRAWING | SHEET No: 1.02 |

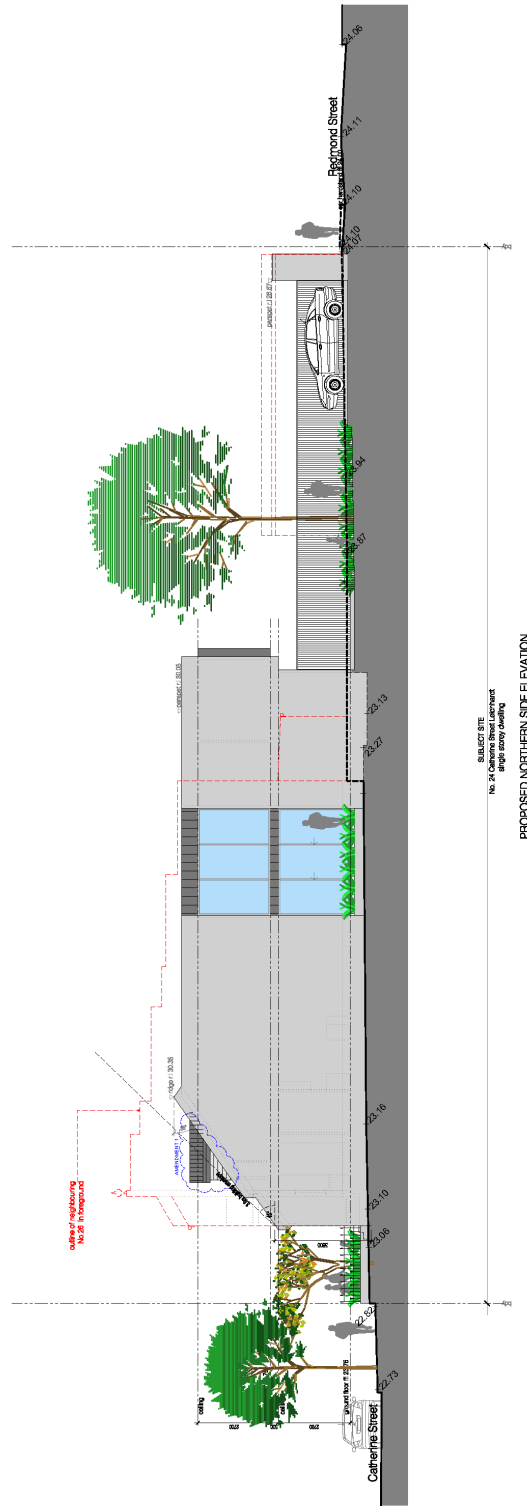
ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.



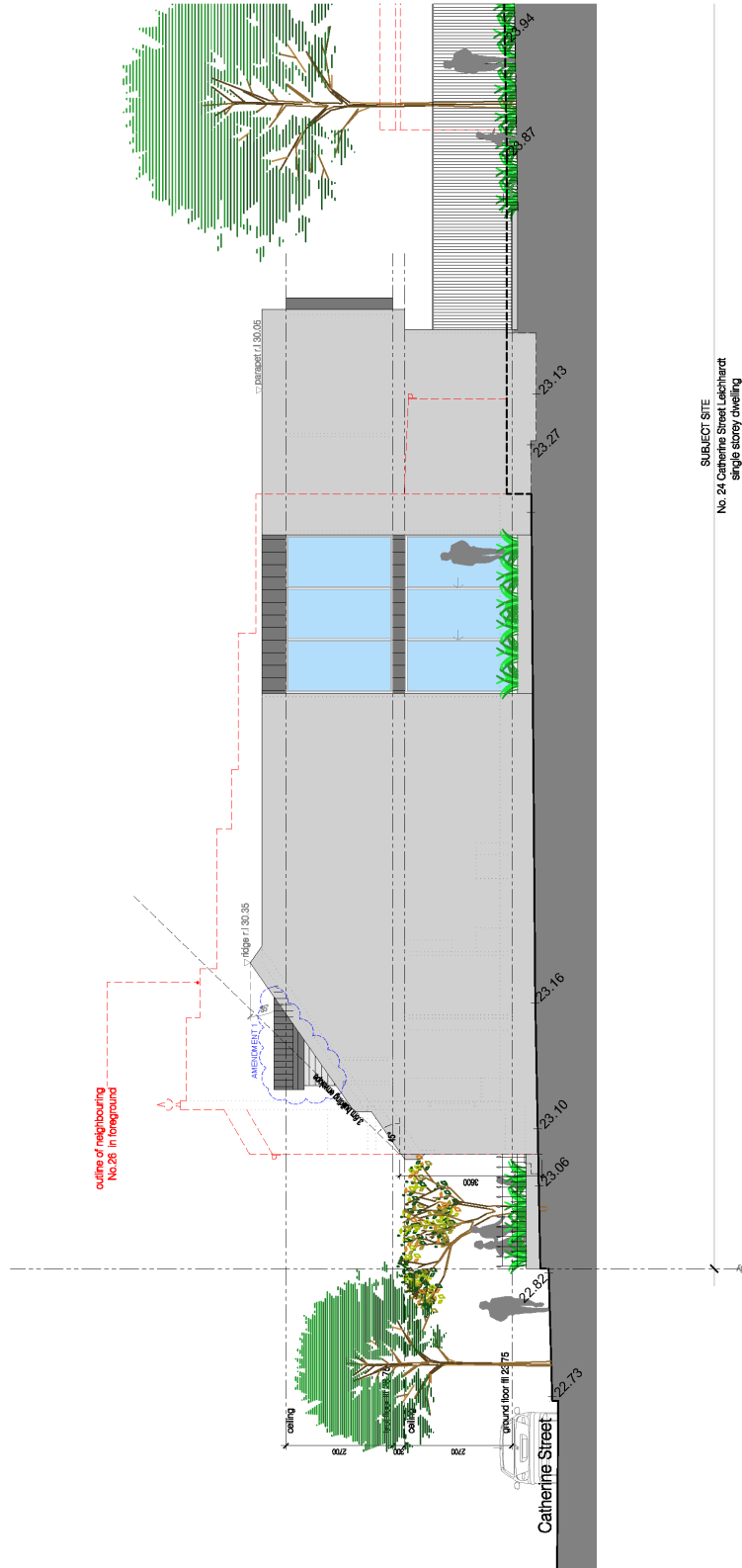
PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION

| | | | | | | |
|------------------------------------|--|---|---|---|----------------------|-------------------|
| SEC 4.55 PLANS FOR CONSTRUCTION | AMENDMENTS: A PRE-DA ISSUE B DA ISSUE C SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:100 @ A3 | ISSUE: C |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED EASTERN CATHERINE STREETSCAPE ELEVATION | DRAWN: S.G. | DA |
| | | | | CHECKED: S.G. | DO NOT SCALE DRAWING | SHEET No: 2.03 |

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.



| SEC4.55 PLANS FOR CONSTRUCTION | | AMENDMENTS: | | DATE: | | CLIENT: | | PROJECT: | | SCALE: | | ISSUE: | |
|--|-----------------------|-------------|---|---|------------|----------------------------------|--|----------|--|--------|--|--------|--|
| A | PRE-DA ISSUE | 08.05.2018 | Development Design Pty Ltd | TRADER IN PURPLE 113PTY LTD | 1:150 @ A3 | C | | | | | | | |
| B | DA ISSUE | 18.06.2018 | ACN 107 176 867 | | | DA | | | | | | | |
| C | SEC 4.55 MODIFICATION | 27.07.2019 | 340a Riley Street Surry Hills NSW 2010 | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | | PROPOSED NORTHERN SIDE ELEVATION | | | | | | | |
| | | | +61(02) 9211 7800 info@developmentdesign.com.au | | | | | | | | | | |
| | | | www.developmentdesign.com.au | | | | | | | | | | |
| ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER. | | | | | | | | | | | | | |

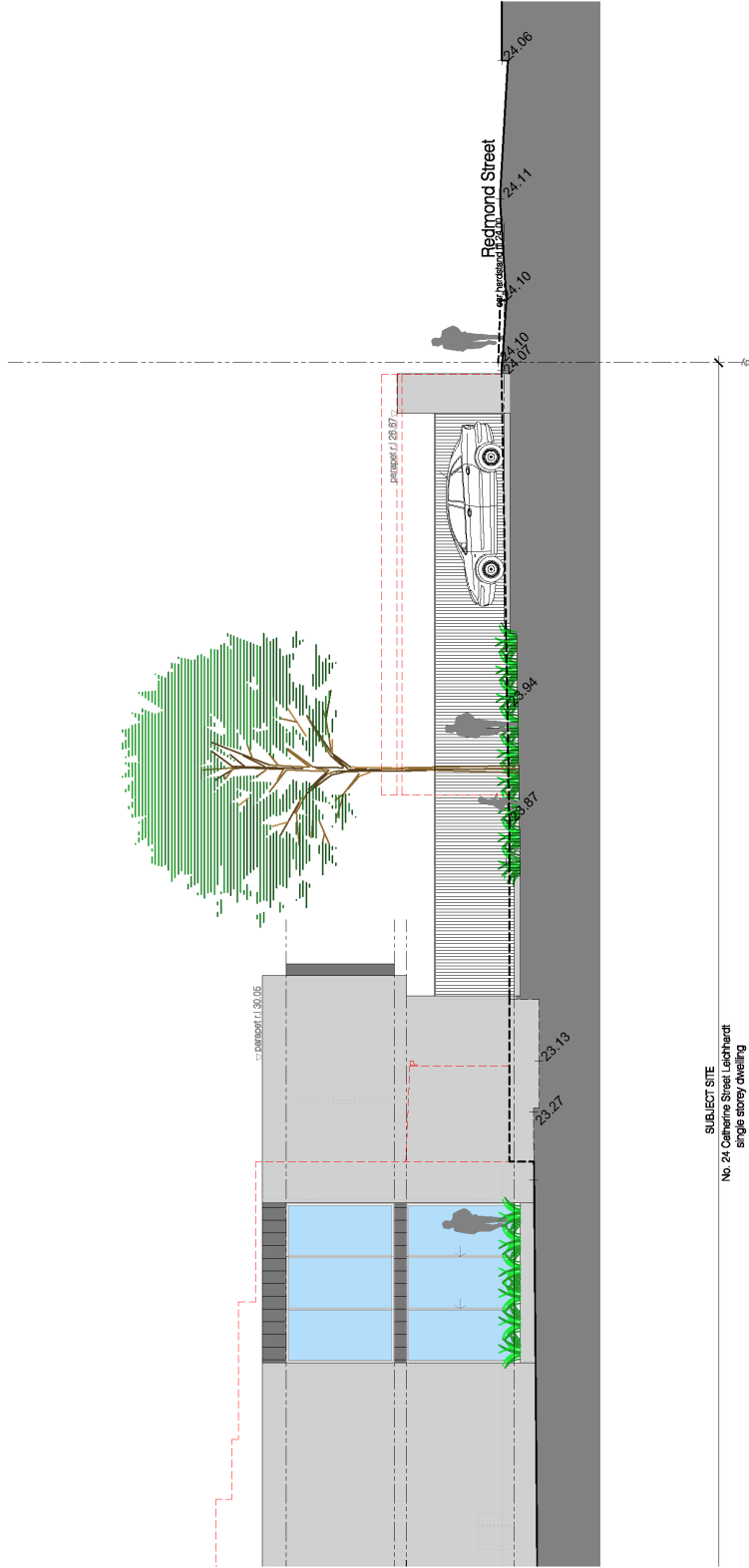


SUBJECT SITE
No. 24 Catherine Street, Leichhardt
single storey dwelling

PROPOSED NORTHERN SIDE ELEVATION

| | | | | | | |
|-----------------------------------|--|---|---|---|----------------------|-------------------------|
| SEC4.55 PLANS FOR CONSTRUCTION | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:100 @ A3 | ISSUE: C |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED NORTHERN SIDE ELEVATION | DRAWN: S.G. | DA |
| | | | | | CHECKED: S.G. | DO NOT SCALE DRAWING |

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.

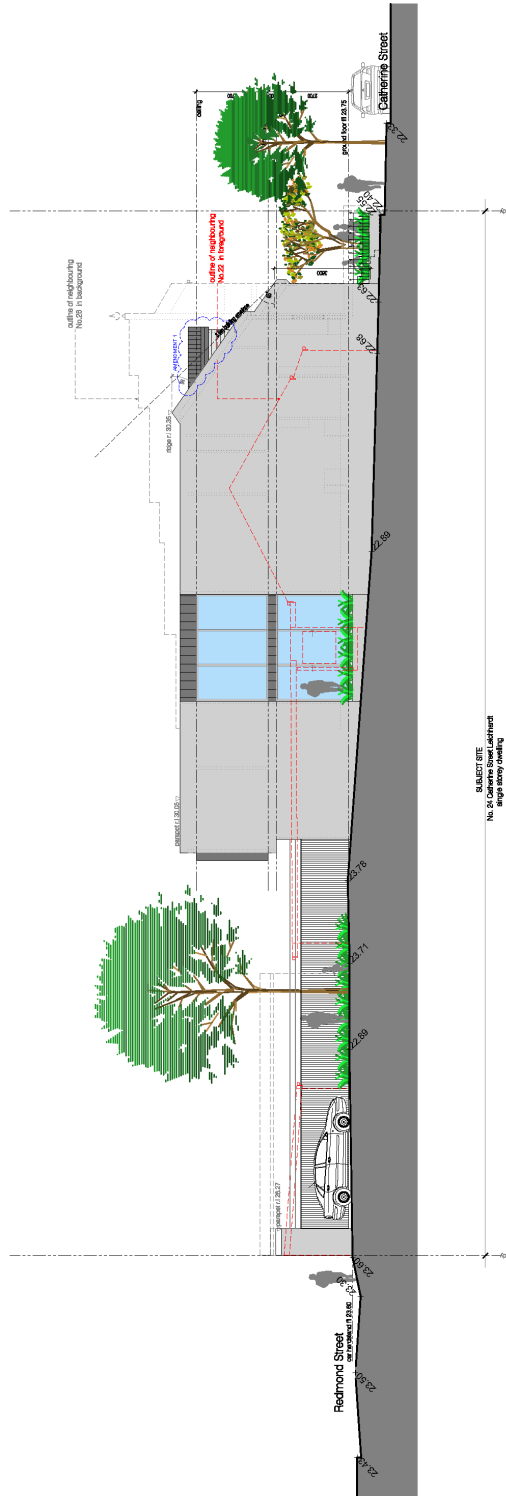


SUBJECT SITE
No. 24 Catherine Street Leichhardt
single storey dwelling

PROPOSED NORTHERN SIDE ELEVATION

| | | | | | | |
|--|-----------------------|------------|---|---|--------------|-------------------|
| SEC4.55 PLANS FOR CONSTRUCTION | AMENDMENTS: | DATE: | CLIENT: | PROJECT: | SCALE: | ISSUE: |
| | A | 08.05.2018 | Development Design Pty Ltd | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | 1:100 @ A3 | C |
| | B | 18.06.2018 | ACN 107 176 867 | TRADER IN PURPLE 113PTY LTD | DRAWN: S.G | DA |
| C | SEC 4.55 MODIFICATION | 27.07.2019 | 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | CHECKED: S.G | SHEET No: 2.07 |
| ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, RL, GROUNDLINES, SETBACKS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER. | | | | | | |

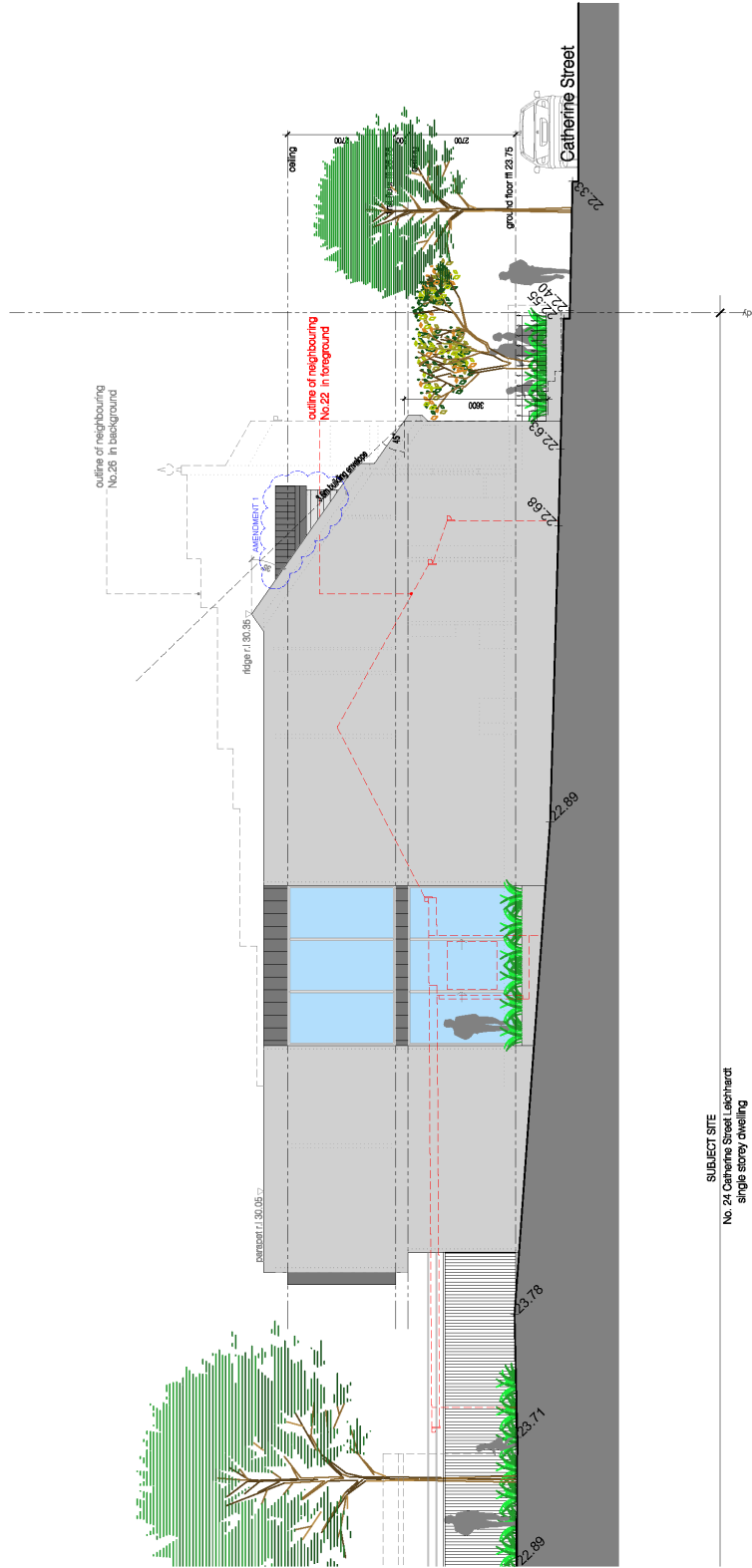
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|-----------------------------------|---|---|---|--|--|---|
| SEC4.55 PLANS FOR CONSTRUCTION | AMENDMENTS: A B C SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS TRADER IN PURPLE 113PTY LTD | SCALE: 1:100 @ A3 DRAWN: S.G CHECKED: S.G | ISSUE: C DA SHEET No: 2.07 DO NOT SCALE DRAWING |
|-----------------------------------|---|---|---|--|--|---|



PROPOSED SOUTHERN SIDE ELEVATION

| | | | | | | |
|-----------------------------------|--|---|---|---|----------------------|-------------------------|
| SEC4.55 PLANS FOR CONSTRUCTION | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:150 @ A3 | ISSUE: C |
| | | | ADDRESS: LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: PROPOSED SOUTHERN SIDE ELEVATION | DRAWN: S.G. | DA |
| | | | | | CHECKED: S.G. | DO NOT SCALE DRAWING |

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SUBJECT SITE
No. 24 Catherine Street, Leichhardt
single storey dwelling

PROPOSED SOUTHERN SIDE ELEVATION

SEC4.55 PLANS FOR CONSTRUCTION

| ISSUE: | AMENDMENTS: | DATE: |
|--------|-----------------------|------------|
| A | PRE-DA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.06.2018 |
| C | SEC 4.55 MODIFICATION | 27.07.2019 |

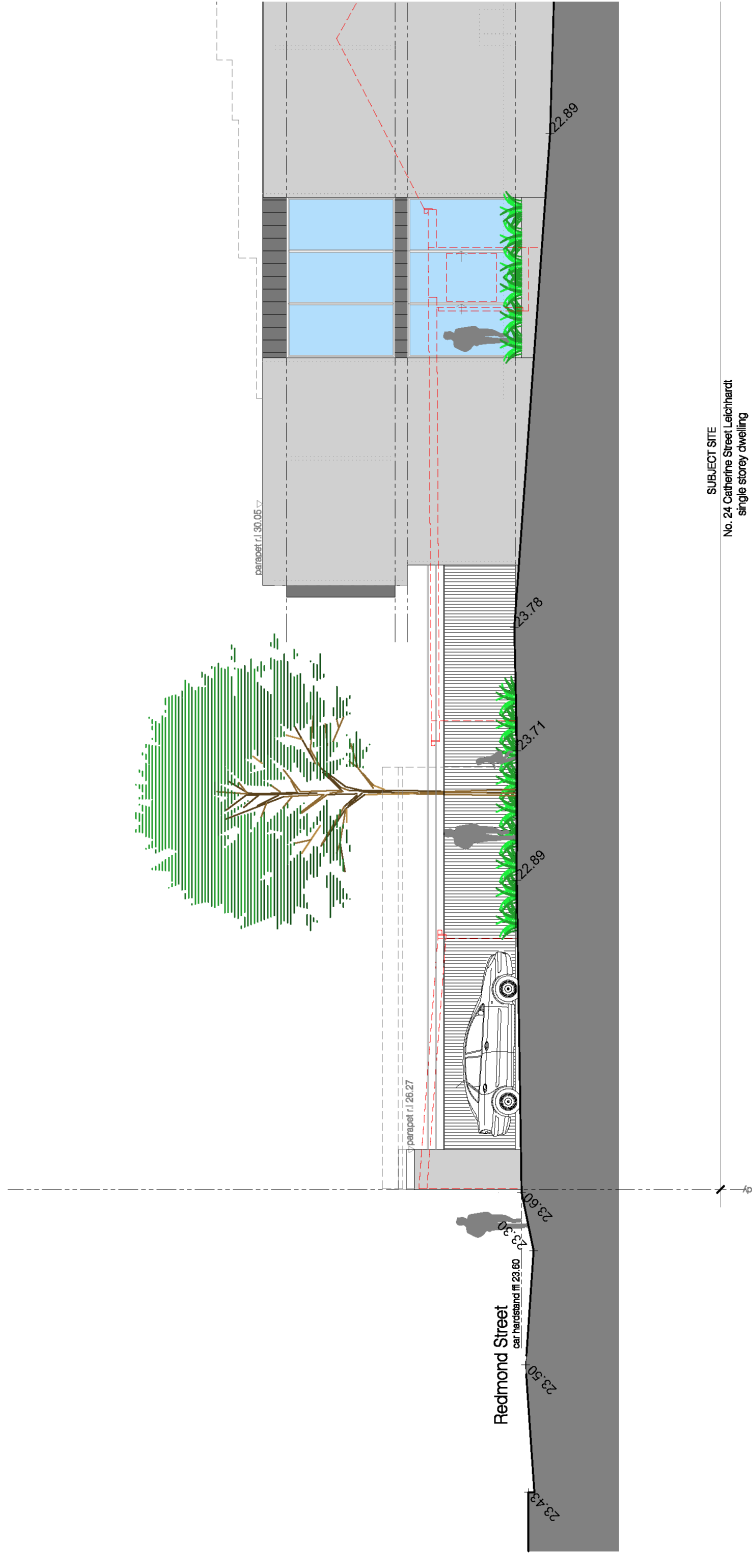
| | |
|----------|---|
| CLIENT: | Development Design Pty Ltd ACN 107 176 867 |
| ADDRESS: | 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au |

| | |
|----------|---|
| PROJECT: | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| DRAWING: | PROPOSED SOUTHERN SIDE ELEVATION |

| | |
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| SCALE: | 1:100 @ A3 |
| DRAWN: | S.G |
| CHECKED: | S.G |

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| ISSUE: | C |
| DA | |
| SHEET No: | 2.13 |
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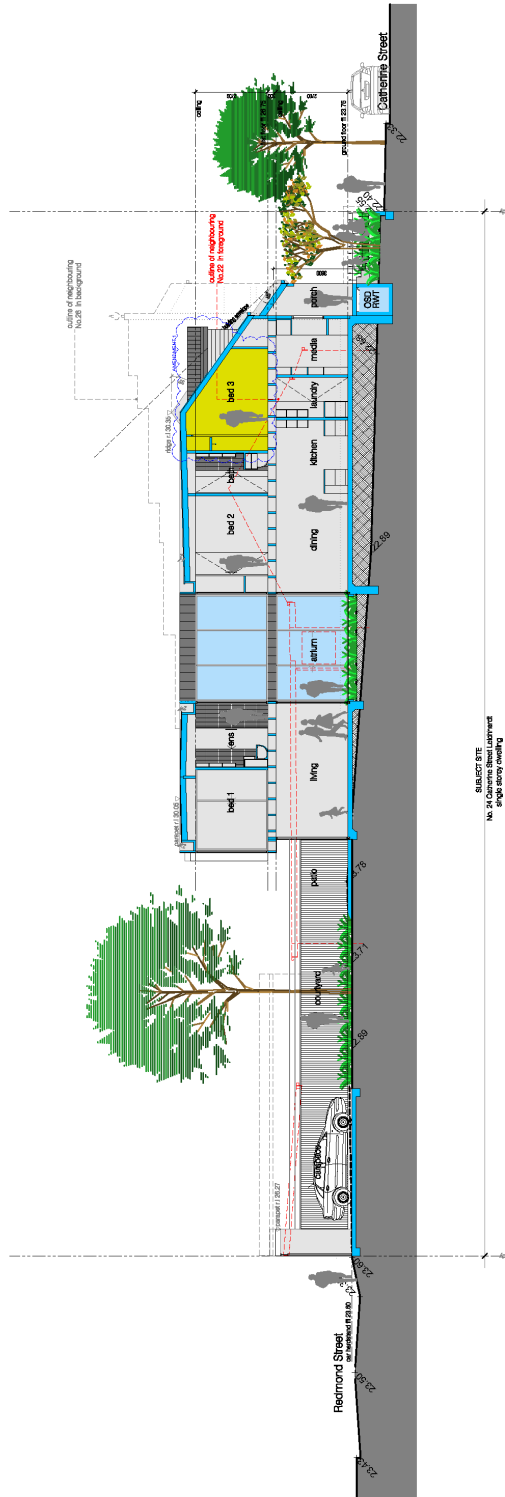
SUBJECT SITE
No. 24 Catherine Street, Leichhardt
single storey dwelling

PROPOSED SOUTHERN SIDE ELEVATION

SEC4.55 PLANS
FOR CONSTRUCTION

| | | | | | | |
|-----------------------|--|---|---|---|----------------------|-------------------|
| ISSUE: A B C | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 340a Riley Street Surry Hills NSW 2010 +61(02) 8211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: 1:100 @ A3 | ISSUE: C |
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| | | | | | CHECKED: S.G | SHEET No: 2.14 |

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TYPICAL SECTION A - A (SOUTHERN LOT)

SEC4.55 PLANS FOR CONSTRUCTION

| | | |
|--------|-----------------------|------------|
| ISSUE: | AMENDMENTS: | DATE: |
| A | PRE-DA ISSUE | 08.05.2018 |
| B | DA ISSUE | 18.06.2018 |
| C | SEC 4.55 MODIFICATION | 27.07.2019 |

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|----------|---|
| CLIENT: | Development Design Pty Ltd |
| ACN: | 107 176 867 |
| ADDRESS: | 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7600 info@developmentdesign.com.au www.developmentdesign.com.au |

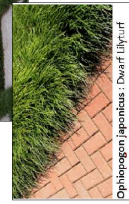
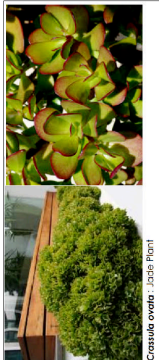
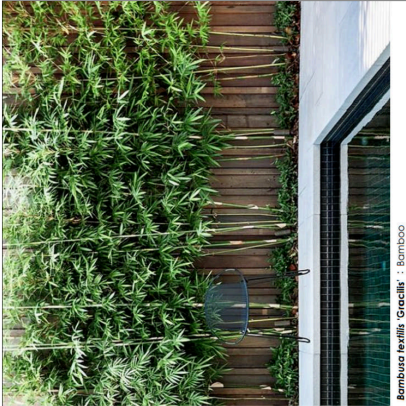
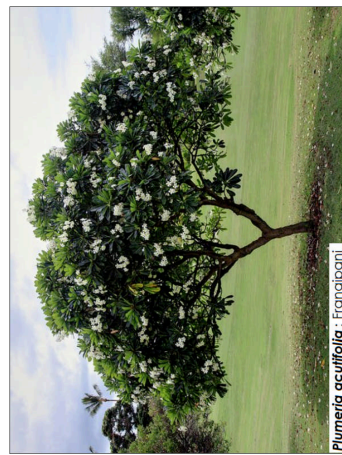
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| PROJECT: | PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS |
| DRAWING: | TYPICAL SECTION A-A |

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| SCALE: | 1:150 @ A3 |
| DRAWN: | S.G |
| CHECKED: | S.G |

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| ISSUE: | C |
| DA | DA |
| SHEET No.: | 3.01 |
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TYPICAL SECTION A-A

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SEC4.55 PLANS
FOR CONSTRUCTION

| ISSUE | AMENDMENTS | DATE |
|-------|-----------------------|------------|
| A | PREDA ISSUE | 08.05.2018 |
| B | DA ISSUE | 19.09.2018 |
| C | SEC 4.55 MODIFICATION | 27.07.2019 |

Client:
Development Design Pty Ltd
ACN 107 176 867

Address:
340a Riley Street Surry Hills NSW 2010
+61(02) 9211 7900 | info@developmentdesign.com.au
www.developmentdesign.com.au

Project:
PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS

Drawing:
LANDSCAPE PLAN

Scale:
1:100 @ A3

Drawn:
S.G

Checked:
S.G

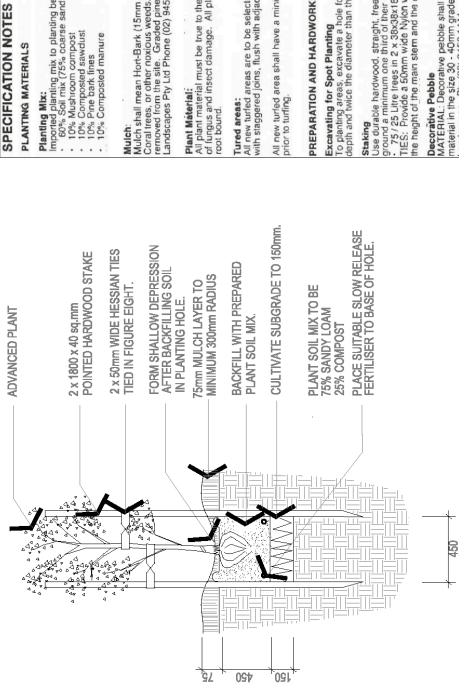
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| | 5.01 |

LANDSCAPE PLAN

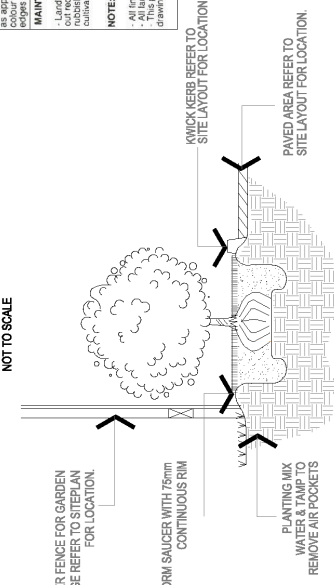
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PLANTING SCHEDULE

| SYMBOL | BOTANIC NAME | COMMON NAME | MAX HEIGHT | POT SIZE | STAKING | NUMBER |
|--------|---|----------------|------------|-----------|---------|--------|
| PA | TREES 4-10m <i>Plumeria acutifolia</i> | Frangipani | 7m | 100lt YES | 6 | |
| CA | <i>Crassula ovata</i> | Jade Plant | 0.6m | 1.5m 5lt | NO 10 | |
| BT | BAMBOOS <i>Bambusa textilis 'Graclis'</i> | Bamboo | 7m | 2.5lt | NO 16 | |
| LO | GROUND COVER <i>Lomandra confertifolia</i> | Little con | 0.6m | 2.5lt | NO 15 | |
| DL | <i>Ophiopogon japonicus</i> | Dwarf Lilyturf | - | 0.5lt | NO 20 | |
| SW | GRASS Sir Walter Buffalo | Turf Grass | - | - | NO - | |



SHRUB PLANTING - IN MASS PLANTED AREAS



ADVANCED TREE PLANTING DETAIL

NOT TO SCALE

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:
Invoiced planting mix to comprise an approved soil mix of:
 • 10% Mulchroom compost
 • 10% Fine forested sand/dust
 • 10% Fine forested silt/clay
 • 10% Composted manure

Mulch:
Mulch shall mean Hot-Bark (15mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 20mm grade shall be rejected. Mulch shall be supplied by a supplier approved by the Council, or supplied by Australian Native Landscapes Pty Ltd (Phone (02) 9430 1444, or approved equivalent).

Plant Material:
All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and fit for planting.

Tree stakes:
All new, untried areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly buffed with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points prior to turfing.

PREPARATION AND HARDWORKS

Excavating for Spot Planting
To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Use of Curable Hardwood: straight, free from knots or blemishes, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Decorative Pebble
All new turfed areas shall be Western White pebble, gravel to be of uniform size or graded material in the size 30 - 40mm grade to nominal 75mm thickness as available from Australian Native Landscapes. Ph: (02) 9450 1444.

Concrete Edge
Concrete to be off white colour.
INSTALLATION: Supply and install 100 x 250mm (twenty reinforced flush concrete kerb to locations indicated on drawings. The kerb shall be finished with a bevelled edge and shall be finished with a decorative concrete finish to match concrete. Lamin edges appropriate through mixing /paving. Tool finish exposed edges with 10mm pencil round to prevent chipping.

MAINTENANCE / PLANT ESTABLISHMENT

Landscape Contractors to provide 13 weeks for maintenance / plant establishment period. Carry out regular watering, weeding, mulching, pruning, hedge clipping, top dressing, and keeping the site neat and tidy.

NOTE:
 - All finished levels are to be verified by Contractor on site.
 - This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawings where applicable.

SEC 4.55 PLANS FOR CONSTRUCTION

| | | |
|--------|-----------------------|------------|
| ISSUE: | AMENDMENTS: | DATE: |
| A | PRE-DA ISSUE | 08.05.2018 |
| B | DA ISSUE | 18.05.2018 |
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CLIENT:
Development Design Pty Ltd
ACN 107 178 867

ADDRESS:
340a Riley Street Surry Hills NSW 2010
+61(02) 9211 7600 | info@developmentdesign.com.au
www.developmentdesign.com.au

PROJECT:
PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS

DRAWING:
LANDSCAPE PLAN

SCALE:
1:100 @ A3

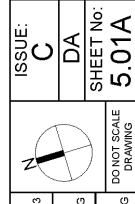
ISSUE:
C

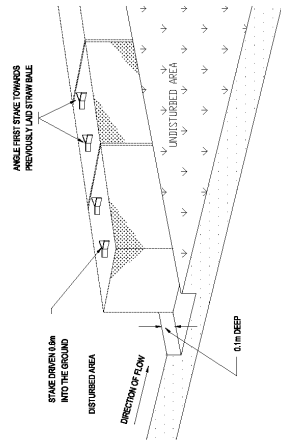
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SHEET NO.:
5.01A

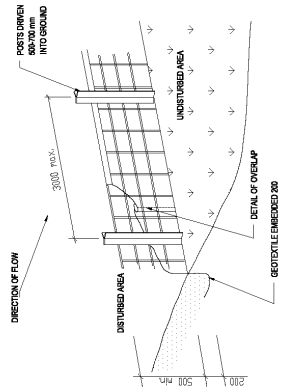
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LANDSCAPE PLAN

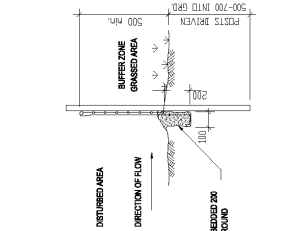




STRAW BALE SEDIMENT FILTER



SILT FENCE SEDIMENT FILTER



GEOFABRIC LINED SILT FENCE

- NOTES:
- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSTALLED PRIOR TO SITE DISTURBANCE
 - STRIPPING OF GRASS AND VEGETATION ETC. FROM SITE SHALL BE KEPT TO A MINIMUM
 - TOPSOIL FROM ALL AREAS THAT WILL BE DISTURBED TO STRIPPED AND STOCKPILED
 - ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR STRUCTURAL DAMAGE AND ALL TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED SOIL STOCKPILE SITE

| DEMOLITION STAGE | | REUSE & RECYCLING | | DISPOSAL | |
|-----------------------|---------------------------------|--|--|-----------------------|---------------------------------|
| MATERIALS ON-SITE | estimated volume m ³ | on-site contractor landfill destination | off-site contractor landfill destination | type of material | estimated volume m ³ |
| excavated material | 5 | fill spread over site | fill spread over site | excavated material | 5 |
| green waste | 1.0 | mulched for garden | mulched for garden | green waste | 1.0 |
| brick material | 1.5 | cleared and used on site again | cleared and used on site again | brick material | 1.5 |
| concrete material | 5 | - | - | concrete material | 5 |
| timber material | 1.5 | white and damaged so used as landfill | white and damaged so used as landfill | timber material | 1.5 |
| metal material | 0.6 | compacted and sent to recycle resources yard | compacted and sent to recycle resources yard | metal material | 0.6 |
| cardboard material | - | - | - | cardboard material | - |
| plasterboard material | - | - | - | plasterboard material | - |

| CONSTRUCTION STAGE | | REUSE & RECYCLING | | DISPOSAL | |
|-----------------------|---------------------------------|--|--|-----------------------|---------------------------------|
| MATERIALS ON-SITE | estimated volume m ³ | on-site contractor landfill destination | off-site contractor landfill destination | type of material | estimated volume m ³ |
| excavated material | 5 | re-used as fill under concrete slabs where appropriate | re-used as fill under concrete slabs where appropriate | excavated material | 5 |
| green waste | 1.0 | mulched for garden | mulched for garden | green waste | 1.0 |
| brick material | 1.5 | cleared and used on site again | cleared and used on site again | brick material | 1.5 |
| concrete material | 1.0 | reusable used as fill under slab | reusable used as fill under slab | concrete material | 1.0 |
| timber material | 0.1 | - | white and damaged so used as landfill | timber material | 0.1 |
| metal material | 0.1 | - | metal shipping sent to supplier of material | metal material | 0.1 |
| cardboard material | nil | - | - | cardboard material | nil |
| plasterboard material | 0.2 | - | to CSR | plasterboard material | 0.2 |

| USE OF PREMISES | | PROPOSED ON-SITE STORAGE AND TREATMENT FACILITIES | | DESTINATION | |
|-----------------------|--------|--|----------------------|-----------------------|------------------|
| WASTE BEING GENERATED | VOLUME | on-site storage | on-site treatment | type of waste | estimated volume |
| glass plastic bottles | 15 lt | stored in council modal bin awaiting collection. | recycled fortnightly | glass plastic bottles | 15 lt |
| food scraps | 40 lt | designated area for composition on site. | compost on site | food scraps | 40 lt |
| green waste | 20 lt | designated area for composition on site. | compost on site | green waste | 20 lt |
| paper cardboard | 30 lt | stored in council modal bin awaiting collection. | recycled weekly | paper cardboard | 30 lt |
| general waste | 40lt | stored in modal council bin awaiting collection | recycled fortnightly | general waste | 40lt |
| other waste | varies | stored on site awaiting for quarterly council street collection. | quarterly collection | other waste | varies |

WASTE MANAGEMENT PLAN

SEC4.55 PLANS FOR CONSTRUCTION

| | | | | | | |
|--------------------|---|--|--|--|----------------------|----------------|
| ISSUE: A B C | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 19.06.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: - | ISSUE: C |
| | | | ADDRESS: 340a Riley Street Surry Hills NSW 2010 +61(02) 9211 7800 info@developmentdesign.com.au www.developmentdesign.com.au | DRAWING: SEDIMENTATION, EROSION CONTROL & WASTE MANAGEMENT DETAILS | DRAWN: S.G | DA |
| | | | | CHECKED: S.G | DO NOT SCALE DRAWING | SHEET No: 5.02 |

SEDIMENTATION, EROSION CONTROL & WASTE MANAGEMENT DETAILS

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SECA 55 PLANS FOR CONSTRUCTION

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| ISSUE: | AMENDMENTS: | DATE: | CLIENT: | SCALE: | ISSUE: |
| A | PRE-DA ISSUE | 08.05.2018 | Development Design Pty Ltd | 1:150 @ A3 | C |
| B | DA ISSUE | 19.09.2018 | TRADER IN PURPLE 113PTY LTD | DRAWN: S.G | DA |
| C | SEC 4.55 MODIFICATION | 27.07.2019 | ACN 107 176 867 | CHECKED: S.G | SHEET No: |
| | | | 340a Riley Street Surry Hills NSW 2010 | | 5.03 |
| | | | +61(02) 9211 7800 info@developmentdesign.com.au | | DO NOT SCALE DRAWING |
| | | | www.developmentdesign.com.au | | |

MATERIAL & COLOUR SCHEDULE OF FINISHES

PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS
 DRAWING: MATERIAL & COLOUR SCHEDULE OF FINISHES
 ADDRESS: LOT 22, SEC B in DP 119
 24 CATHERINE STREET
 LEICHHARDT 2040

CLIENT: TRADER IN PURPLE 113PTY LTD
 340a Riley Street Surry Hills NSW 2010
 +61(02) 9211 7800 | info@developmentdesign.com.au
 www.developmentdesign.com.au

ALL BUILDINGS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.

| NUMBER | HEIGHT | WIDTH | TYPE | HEAD HEIGHT | STYLE | LOTA ORIENTATION | LOTB ORIENTATION | LOT C ORIENTATION | FRAME & GLASS TYPE |
|--------|--------|-------|----------|-------------|--------------|------------------|------------------|-------------------|----------------------------|
| PD01 | 2100 | 880 | solid | 2100 | pivot door | east | east | east | refer to basik certificate |
| W02 | 1500 | 850 | clear | 2100 | double hung | east | east | east | refer to basik certificate |
| W03 | 1500 | 850 | clear | 2100 | double hung | east | east | east | refer to basik certificate |
| W04 | 2700 | 2025 | clear /t | 2700 | stack slider | west | west | west | refer to basik certificate |
| SS05 | 2700 | 4000 | clear /t | 2400 | stack slider | south | north | north | refer to basik certificate |
| SS06 | 2700 | 2025 | clear /t | 2400 | stack slider | east | east | east | refer to basik certificate |
| SS07 | 2700 | 3825 | clear /t | 2700 | stack slider | west | west | west | refer to basik certificate |
| W08 | 2700 | 2445 | clear /t | 2700 | stack slider | west | west | west | refer to basik certificate |
| W09 | 2700 | 1375 | obsc /t | 2700 | awning | east | east | east | refer to basik certificate |
| W10 | 2700 | 4000 | clear /t | 2700 | awning | south | south | south | refer to basik certificate |
| W11 | 2700 | 1375 | clear /t | 2700 | awning | west | west | west | refer to basik certificate |
| W12 | 1200 | 850 | clear | 2400 | double hung | east | east | east | refer to basik certificate |
| SL01 | 600 | 600 | clear | - | fixed | - | - | - | refer to basik certificate |
| SL02 | 600 | 600 | clear | - | fixed | - | - | - | refer to basik certificate |

note:
 .obsc /t : denotes obscure toughened glass window
 .clear /t : denotes clear toughened glass window
 .dble hung : denotes double hung

WINDOW SCHEDULE

- note:
- . all structural floors & walls and timber roof members to structural engineers details
 - . builder must verify all dimensions on site before any work commences.
 - . figured dimensions are to be used in preference to scaled off setbacks and areas are approximate & subject to final survey to determine boundary locations prior to any construction works.
 - . roof stormwater to street kerb & gutter. (refer future engineers details)
 - . plans are not for construction, o.a purposes only. Verification of existing roof pitch required prior for construction certificate construction drawings.
 - . selected roof tile/metal sheeting profile subject to manufacturers minimum roof pitch requirement.
 - . plans to be read in conjunction with councils letter's of consent.
 - . plans are not for construction, D.A purposes only. Final construction plans will be release at Construction Certificate stage after engineers final consultation.
 - . these drawings are to be read in accordance with commitments as stated within the Basik Certificate where applicable.

.window & door schedule are to be read in conjunction with Architectural and other Consultants drawings, specifications including commitments as specified in the Basik Certificate and/or Natens Certification & other written instructions.

- . Unless stated otherwise, the Builder shall:
 - (a) Make provisions for all necessary waterproofing and/or drainage to exposed roof and surface areas, including basement retaining walls, to the complete approval of the building surveyor.
 - (b) Where necessary provide support to walls adjacent structures built on the boundary and avoid damage to foundations of the same due to excavation beneath footings or ingress of water.
- . any discrepancies between this plan, the specifications & any relevant documentation, Development Design P/L is to be notified for instruction prior to commencement of that portion of work.
- . all windows and doors shown on the plan are to be of approved manufacture, complete with all necessary fasteners, handles, hinges, glazing, finishing according to the manufacturer's specifications. All aluminium window frames to be supplied with powder coated finish as selected by owner and is to comply with the relevant Australian Standards Glazing materials shall be selected and installed in accordance with the relevant provisions of the Australian Standard. Safety glazing materials is also to conform with the relevant Australian Standards.

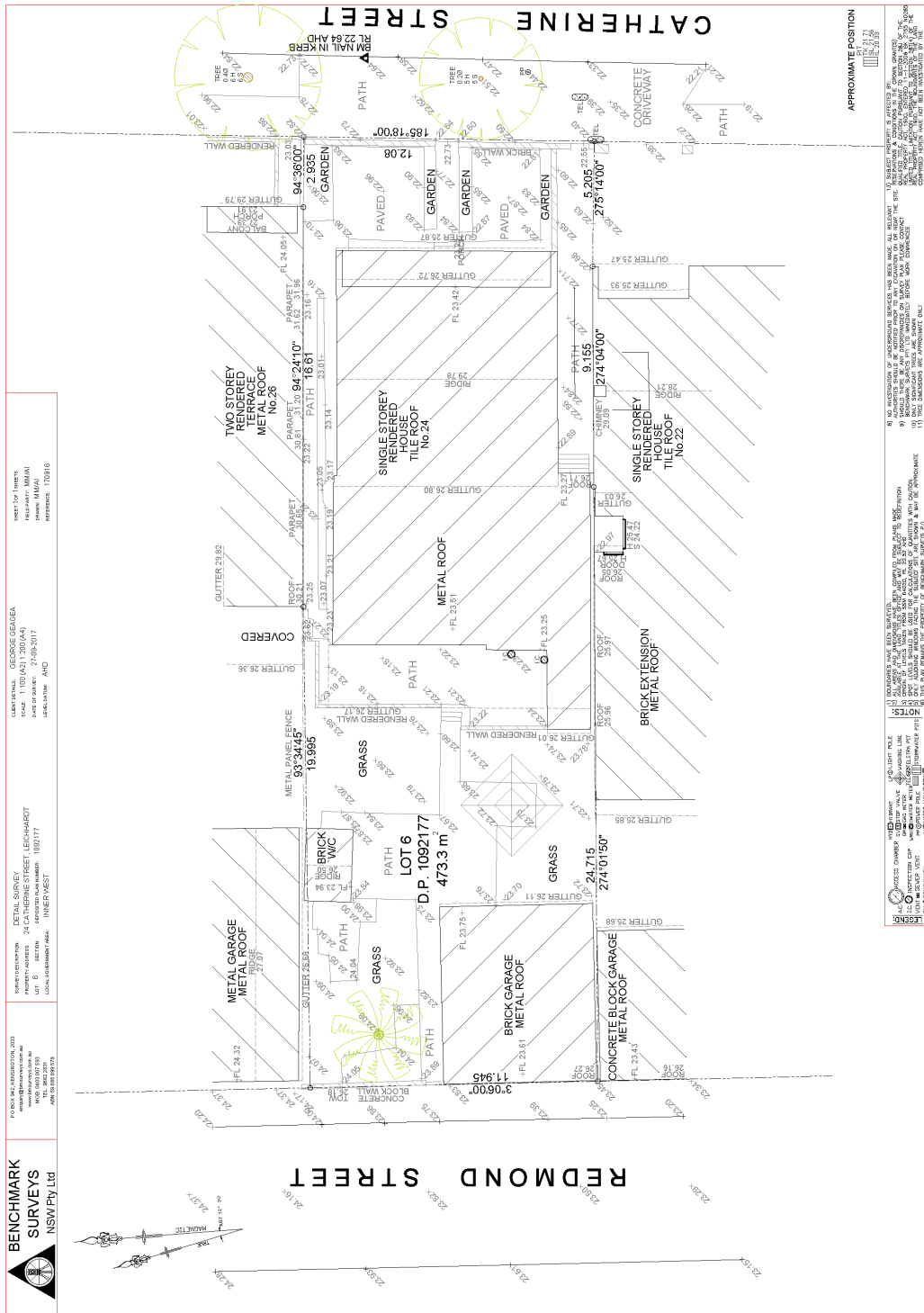
GENERAL NOTES

WINDOW SCHEDULE & GENERAL NOTES

SEC4.55 PLANS FOR CONSTRUCTION

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|-----------------------|--|---|---|---|----------------------|-------------------|
| ISSUE: A B C | AMENDMENTS: PRE-DA ISSUE DA ISSUE SEC 4.55 MODIFICATION | DATE: 08.05.2018 18.09.2018 27.07.2019 | CLIENT: Development Design Pty Ltd ACN 107 176 867 | PROJECT: PROPOSED SUBDIVISION & CONSTRUCTION OF 3 ATTACHED DWELLINGS | SCALE: - | ISSUE: C |
| | | | ADDRESS: 340a Riley Street Surry Hills NSW 2010 LOT 22, SEC B in DP 119 24 CATHERINE STREET LEICHHARDT 2040 | DRAWING: WINDOW SCHEDULE & GENERAL NOTES | DRAWN: S.G | SHEET NO: 5.04 |
| | | | | CHECKED: S.G | DO NOT SCALE DRAWING | |

ALL BUILDING WORKS TO BE BUILT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA & COUNCIL REQUIREMENTS. THE BUILDER/MANUFACTURER SHALL CHECK AND VERIFY ALL DIMENSIONS, LEVELS AND CONSTRUCTION METHODS PRIOR TO COMMENCEMENT. COPYRIGHT RESERVED. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF DEVELOPER.



BENCHMARK SURVEYS
NSW Pty Ltd

FOR RISK AND INFORMATION, 2023
www.benchmark.com.au
PH: 02 9555 9379
A/NZ 92 555 9379

CLIENT: GEORGE CERASIA
SCALE: 1:100 (A3), 1:200 (A4)
DATE OF SURVEY: 27/09/2017
LOCAL AUTHORITY: AND
REFERENCE: 170016

PROJECT ADDRESS: 24 CATHERINE STREET, LEICHHARDT
LOT 6 SECTION 8
LOCAL AUTHORITY: INNERWEST

DETAILED SURVEY:
METERED: M/M/A
NON-METERED: M/M/A

APPROXIMATE POSITION
152° 21' 27"
152° 20' 39"

1. THIS PLAN IS A PRELIMINARY SURVEY AND IS PROVIDED ONLY AS AN INDICATION OF THE GENERAL POSITION OF THE PROPOSED DEVELOPMENT. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES.
2. THE PROPOSED DEVELOPMENT IS SUBJECT TO THE APPROVAL OF THE LOCAL AUTHORITY AND THE STATE GOVERNMENT.
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